

GRADING, STORMWATER MANAGEMENT AND EROSION/ SEDIMENT CONTROL PERMIT APPLICATION

A \$150.00 application fee and additional \$700.00 escrow deposit must accompany this permit application.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

The permit application and supporting documentation must be submitted to the LRRWMO by the THIRD THURSDAY OF THE MONTH TO BE ON THE FOLLOWING REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AGENDA. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: City Project #24-12, Juniper Woods 1st, 2nd and 3rd Addition Street Reconstructions

Address/Location: Juniper Woods 1st, 2nd and 3rd Addition residential developments.

Project Description/Purpose: Street reconstruction project.

Bruce Westby

Name of Applicant (Site Owner or Property Owner)
 7550 Sunwood Drive NW

Address
 Ramsey, MN 55303

City, State, Zip
 763-433-9825

Phone **Fax**
 bwestby@cityoframsey.com

Email

_____	_____
Applicant's Contact	Organization Name
_____	_____
Address	

City, State, Zip	

Phone	Fax
_____	_____
Email	

Submittal Requirements

Completed Grading, Stormwater Management and Erosion/ Sediment Control permit applications are to be submitted as per LRRWMO attachments G1 (Permit Requirements) and G2 (Office Procedure) included with this application. Note that projects involving potential wetland impacts and/or involving a Wetland Replacement Plan require a separate permit application and are subject to additional requirements.

PROJECT SUBMITTALS (check all that apply):

- | | |
|-------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> | GRADING PLAN: Including existing and proposed contours and boundaries of all wetlands and surface waters. |
| <input checked="" type="checkbox"/> | STORM SEWER/ DRAINAGE PLAN: Including all permanent drainage features and all permanent water quality features. |
| <input type="checkbox"/> | STORM DRAINAGE CALCULATIONS: Design computations as required by the LRRWMO. |
| <input checked="" type="checkbox"/> | EROSION CONTROL PLAN: Including all temporary and permanent measures proposed to retain all sediment on site. |
| <input type="checkbox"/> | OTHER |

START OF
PROJECT: Spring 2024

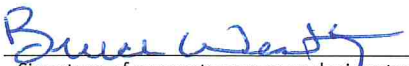
EST. COMPLETION
DATE: Fall 2024

APPROVAL
DATE: _____

By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."



Signature of property owner or designated
Agent (no agent without a letter of authority)

2/15/2024

Date

Signature of applicant if different from
property owner

Date

Bruce Westby

Print Signer's name

Print Signer's name

Application Acknowledged by City:



Name of City Official

Ramsey

City

2/15/2024

Date

SIGNATURE OF LRRWMO CHAIRMAN: **

***NOTE: *Subject to conditions recommended by Barr Engineering (see attached)*

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

118429

Payee: 100268 LRRWMO CITY OF ANOKA

Check No. - 118429 Stub 1 of 1

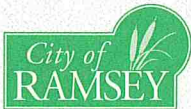
Check Date - 2/15/2024

Supplier Invoice No	Date	Remark	PO	Amount
02152024-3	2/15/2024	PERMIT FEES IP #24-12		850.00

850.00

PLEASE DETACH BEFORE DEPOSITING

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER AND MICROPRINTING. THIS DOCUMENT HAS A TRUE WATERMARK-HOLD TO LIGHT TO VIEW.



City of Ramsey
7550 Sunwood Drive NW
Ramsey, Minnesota 55303

100268



Ramsey
14125 St. Francis Blvd.
Ramsey, MN 55303
1-800-488-2265

118429

90-78
1211

NUMBER 00118429

DATE 2/15/2024 AMOUNT \$*****850.00

PAY EIGHT HUNDRED FIFTY AND 00/100*****

VOID IF NOT CASHED WITHIN 90 DAYS

TO THE ORDER OF: LRRWMO CITY OF ANOKA
2015 - 1ST AVENUE NORTH
ANOKA MN 55303

Mark E. Huzome

⑈ 118429⑈ ⑆091200961⑆ 028896555⑈

Memorandum

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Date: April 12, 2024
Subject: Permit #2024-07: Juniper Woods Street Reconstruction: Ramsey



We have received plans and a LRRWMO permit application for the Juniper Woods Street Reconstruction project along 150th Lane, Waco Street, Tonto Street, Ute Street, and 151st Avenue south of Alpine Drive and east of Waco Street in the City of Ramsey. The work will involve the reconstruction of +/- 3,600 linear feet of roadway, new pedestrian ramps, +/- 2,300 linear feet of trail replacement, and associated site grading and utility replacement. The existing drainage patterns are to be maintained, and the project will only increase the total impervious area by 0.01 acres within the 2.78-acre project corridor.

Because this is a road reconstruction project that has less than 1 acre increase in impervious area and does not alter drainage patterns, the LRRWMO storm water requirements are not applicable for the project. The LRRWMO erosion and sediment control requirements do apply.

Silt fence is proposed along the perimeter of the reconstruction areas where flows drain away from the roadway centerline. Erosion control logs are proposed at culvert ends. Inlet protection will be installed at inlets within the construction area. Disturbed pervious areas are to be restored with topsoil, hydroseed, hydromulch, and seeding.

Construction exits to the project area are proposed at the entryway onto the site at Ute Street and Tonto Street from Alpine Drive, along Waco Street on either side of 150th Lane, and along 151st Avenue at the eastern project boundary.

It is our recommendation that the LRRWMO approve the erosion control permit for this project subject to the following conditions:

1. Erosion control measures must be installed prior to the commencement of construction.
2. Upon completion of construction and restoration of disturbed areas, the permit applicant is responsible for the removal of all erosion control measures installed throughout the construction site.
3. To minimize the potential of material from leaving the site and being tracked onto the roadway, the rock filter construction entrance being a minimum of two feet in height and having side slopes of 4:1 must be constructed at the entryway onto the site. The rock construction entrances will provide an erosion control facility and enable construction traffic to enter the site.

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Subject: Permit #2024-07: Juniper Woods Street Reconstruction: Ramsey
Date: April 12, 2024
Page: 2

4. Street sweeping must be undertaken and completed on an as needed basis.
5. The project plan for the roadway reconstruction shows a 0.01-acre increase in the project impervious area. Should plans change, and improvements result in an increase in impervious area greater than 1.0 acres, a storm water management plan must be provided showing the LRRWMO storm water criteria are met.
6. In all cases where the doing by the permittee of anything authorized by this permit shall involve the taking, using, or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee; before proceeding; shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all necessary property rights and interest.

APPLICATION FOR MINNESOTA WETLAND CONSERVATION ACT (WCA) DECISIONS AND PROCEDURE REQUIREMENTS

A \$150.00 LRRWMO initial application fee and the appropriate escrow deposits (determined in accordance with Attachment W3) must accompany this permit application for any Wetland Conservation Act (WCA) decisions. These are separate and in addition to permit and escrow fees for Grading, Stormwater Management, and Erosion/Sediment Control permit application, if applicable.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

Wetland permit processing takes longer than other permit processing. The permit application and supporting documentation should be submitted to the LRRWMO AT LEAST 60 DAYS PRIOR TO THE REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AT WHICH A DECISION IS REQUESTED. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: Waterfront Village

Address/Location: Bunker Lake Blvd and Zeolite, Ramsey, MN

Project Description/Purpose: Residential Neighborhood

City of Ramsey (Owner)	David Pattberg	Centra Homes LLC
Name of Applicant (Site Owner or Property Owner)	Applicant's Contact	Organization Name
7550 Sunwood Dr NW	11460 Robinson Dr NW	
Address	Address	
Ramsey, MN 55303	Coon Rapids, MN 55433	
City, State, Zip	City, State, Zip	
763-433-9868	763-772-1017	
Phone	Phone	Fax
SSullivan@cityoframsey.com	david.pattberg@centrahomes.com	
Email	Email	

Submittal Requirements

Complete applications are to be submitted as per LRRWMO attachments W1 (Permit Requirements), W2 (Office Procedure), and W3 (Fees, Deposit, and Sureties for Wetland Conservation Act) included with this application. Projects may also require a LRRWMO Grading, Stormwater Management, and Erosion/Sediment Control Permit (separate application and fee/escrow amounts)

PROJECT SUBMITTALS (check all that apply):

<input type="checkbox"/>	WETLAND BOUNDARY DELINEATION AND TYPE CONCURRENCE
<input checked="" type="checkbox"/>	REQUEST FOR NO LOSS OR EXEMPTION UNDER THE WETLAND CONSERVATION ACT (WCA)
<input type="checkbox"/>	WETLAND REPLACEMENT PLAN AND/OR SEQUENCING
<input type="checkbox"/>	WETLAND BANKING PLAN
<input type="checkbox"/>	OTHER



START OF PROJECT: May 2024

EST. COMPLETION DATE: Sept 2027

APPROVAL DATE: _____

By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

Sean M. Sullivan
 Signature of property owner or designated Agent (no agent without a letter of authority)

2/20/24
 Date

David Pattberg
 Signature of applicant if different from property owner

2/16/24
 Date

Sean M. Sullivan
 Print Signer's name

David Pattberg
 Print Signer's name

Application Acknowledged by City:

Randy Peterson
 Name of City Official

Ramsey
 City

2-20-24
 Date

SIGNATURE OF LRRWMO CHAIRMAN: **

****NOTE: Subject to conditions as designated in the WCA Notice of Decision as recommended by the Technical Evaluation Panel and Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

Memorandum

To: Lower Rum River Watershed Management Organization (LRRWMO)
From: Matt Danzl, Barr Engineering Co. (Barr)
Subject: Waterfront Village ~ Ramsey
Date: April 12, 2024
Barr Project: 23020047.00 RJB 2408
LRRWMO Permit: #2024-08

c: Stephanie Johnson, Barr Engineering Co.
Carla Wirth, TimeSaver, LRRWMO Recording Secretary

On March 20, 2024, Barr received a request for Minnesota Wetland Conservation Act (WCA) approval associated with the Waterfront Village project located in the City of Ramsey. On March 22, 2024, Barr notified the applicant of an incomplete application and described the items necessary to make the application complete. On March 28, Barr was notified payment was made and a permit number assigned. On March 29, additional information was provided from the applicant's engineer making the application complete.

Barr reviewed the application with the TEP on 4/12/2024 and agreed the application meets a no-loss with conditions.

The application contains the information needed to determine the project will have no impact to wetlands and is compliant with WCA rules. Based on the available information, we recommend the LRRWMO approve the WCA no-loss application as documented in the draft Notice of Decision.

Minnesota Wetland Conservation Act Notice of Decision

Local Government Unit (LGU): Lower Rum River Watershed Management Organization (LRRWMO)
County: Anoka
Applicant Name: Centra Homes LLC
Applicant Representative: David Pattberg
Project Name: Waterfront Village
LGU Project No. (if any): 2024-08
Date Application Received by LGU: 3/29/2024
Date of LGU Decision: 4/18/2024
Date this Notice was Sent:

Minnesota Wetland Conservation Act (WCA) Decision Type - check all that apply

<input type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input checked="" type="checkbox"/> No-Loss (8420.0415)	<input type="checkbox"/> Exemption (8420.0420)		
Part: <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H	Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9		

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Wetland Impact Area: not applicable
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

Technical Evaluation Panel (TEP) Findings and Recommendations (attach if any)

<input type="checkbox"/> Approve <input checked="" type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny
See TEP involvement and communication described in LGU Findings below.

LGU Decision

<input checked="" type="checkbox"/> Approved with Conditions (specify below) ¹	<input type="checkbox"/> Approved ¹	<input type="checkbox"/> Denied
List Conditions:		
<p>1. Future development to the area southwest of Wetland 1 shall have no reduction in contributing hydrology to Wetlands 1 and 2 and should consider providing increased hydrology to ensure their long-term sustainability.</p> <p>2. STANDARD NO-LOSS AND EXEMPTION CONDITIONS. A person conducting an activity in a wetland under no-loss in part 8420.0415 or an exemption in part 8420.0420 must ensure that:</p> <p>A. appropriate erosion control measures are taken to prevent sedimentation of the wetland or of any receiving waters;</p> <p>B. the activity does not block fish activity in a watercourse, except when done purposely to prevent movement of undesirable fish species in accordance with a recommendation from the commissioner; and</p> <p>C. the activity is conducted in compliance with all other applicable federal, state, and local requirements, including best management practices according to the documents referenced in part 8420.0112, items L, M,</p>		

and N, and water resource protection requirements established under Minnesota Statutes, chapter 103H.

Decision-Maker for this Application: Staff Governing Board/Council Other:

Decision is valid for: 5 years (default) Other (specify):

¹ *Wetland Replacement Plan approval is not valid until Minnesota Board of Water and Soil Resources (BWSR) confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision¹.

Attachment(s) (specify): **Site Location Figure (dated 3/8/2024), Exhibit 3 Wetland Impacts**

Summary:

Centra Homes LLC submitted a joint application form requesting a no-loss decision for the Waterfront Village project PID# 28-32-25-22-0076 located in the City of Ramsey, within Anoka County.

A wetland delineation for the parcel was approved under permit #2221.

The parcel was previously approved under permit #2312 for grading impacts to incidental wetlands with a condition that future development on the parcel does not have indirect impacts to jurisdictional wetlands on site (Wetlands 1 and 2).

The project involves development of 110 single family homes with associated stormwater facilities and roads. A stormwater analysis was completed for this application focusing on run-off volume and a separate Drainage Narrative was completed under permit #2409.

A WCA Notice of Application was submitted to TEP members on 3/29/2024 with a comment period ending on 4/12/2024. The TEP met on 4/12/2024 to discuss the application.

Based on information received in previous permit submittals for this property (#2221, 2312), Wetlands 1 and 2 historically had a much larger contributing watershed with a flow from Northwest to Southeast. Currently, the contributing watersheds to the wetlands have been reduced which warrants greater scrutiny on adjacent developments such as this.

Findings:

The modeling provided in Attachment B shows no decrease in the amount of hydrology volume to the wetlands under a two-year storm event from existing to proposed conditions. The Drainage Narrative shows a slight decrease in the HWL for Wetland 2 in storm events greater than the 2-year. These decreases are assumed to be negligible as they occur from less frequent storm events. Significant redesign would be required to meet the existing condition for these storm events for potentially minimal benefit.

The no-loss is approved with the conditions listed above.

¹ *Findings must consider any TEP recommendations.*

Attached Project Documents

site location map Project Plan(s)/Descriptions/Reports (specify): wetland delineation map

Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator
Minnesota Board of Water & Soils Resources
520 Lafayette Road North
St. Paul, MN 55155
travis.germundson@state.mn.us

Does the LGU have a local appeal process applicable to this decision?

- Yes¹ No

¹If yes, all appeals must first be considered via the local appeals process.

Local Appeals Submittal Requirements (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

Notice Distribution (include name)

Required on all notices:

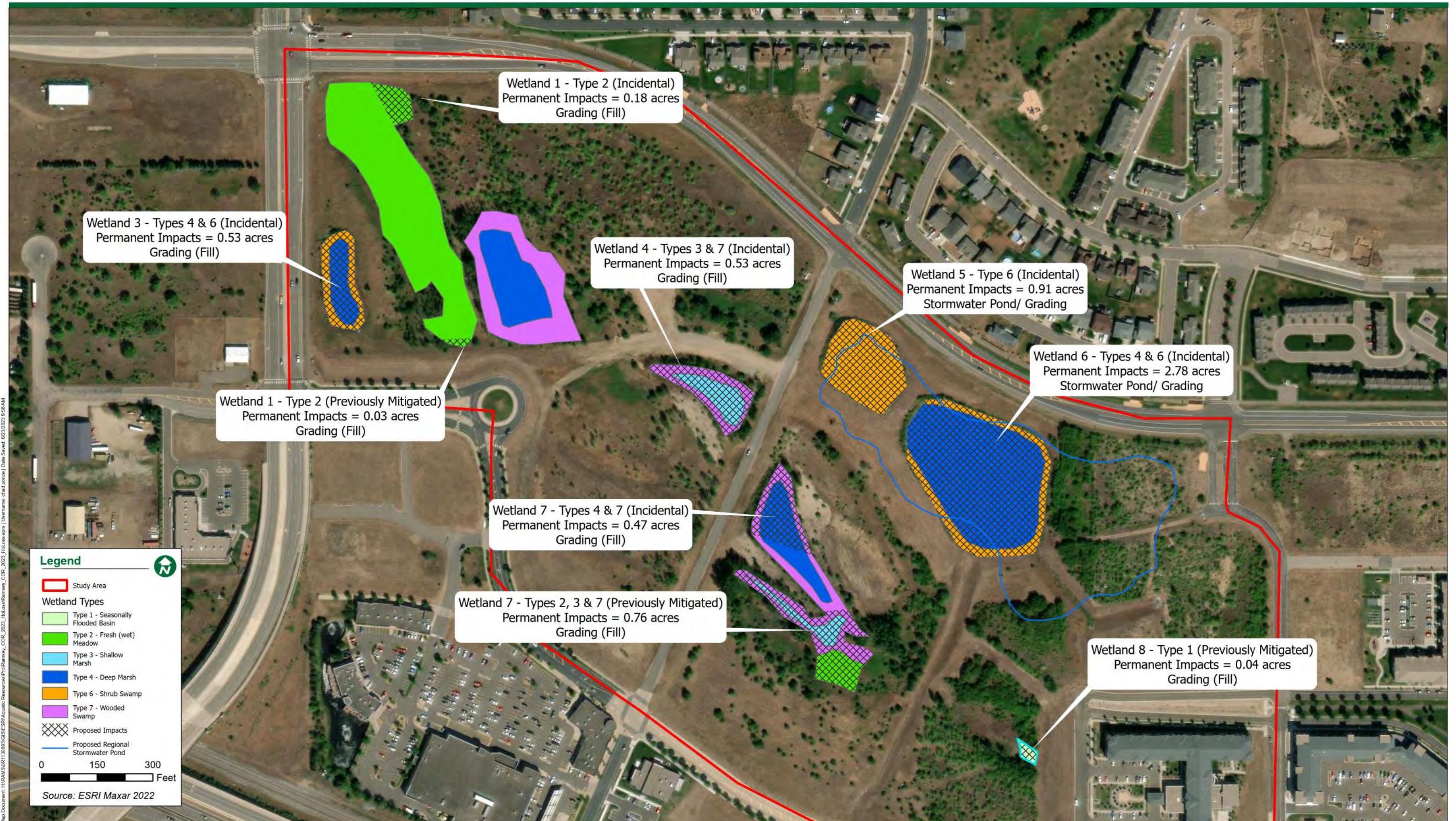
<input checked="" type="checkbox"/> SWCD TEP Member: Becky Wozney (Anoka Conservation District)
<input checked="" type="checkbox"/> Minnesota Board of Water and Soil Resources (BWSR) TEP Member: Ben Meyer
<input checked="" type="checkbox"/> LGU TEP Member: Matt Danzl (Barr Engineering for the LRRWMO)
<input checked="" type="checkbox"/> Minnesota Department of Natural Resources Representative: Melissa Collins
<input checked="" type="checkbox"/> Watershed District or Watershed Mgmt. Org.: Debra Musgrove (LRRWMO), Stephanie Johnson (Barr Engineering Co.)
<input checked="" type="checkbox"/> City Contact for LRRWMO permitting: Leonard Linton (City of Ramsey)
<input checked="" type="checkbox"/> Applicant (notice only): Dave Pattberg
<input checked="" type="checkbox"/> Agent/Consultant (notice only):

Optional or As Applicable:

<input type="checkbox"/> Corps of Engineers:
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):
<input type="checkbox"/> Members of the Public (notice only):
<input type="checkbox"/> Other:

Signature:	Date:
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This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.



Legend

- Study Area
- Wetland Types**
 - Type 1 - Seasonally Flooded Basin
 - Type 2 - Fresh (wet) Meadow
 - Type 3 - Shallow Marsh
 - Type 4 - Deep Marsh
 - Type 6 - Shrub Swamp
 - Type 7 - Wooded Swamp
- Proposed Impacts
- Proposed Regional Stormwater Pond

0 150 300 Feet
Source: ESRI Maxar 2022

Map Document: H:\RAMS\GIS\130880\GIS\ESRI\Aquatic_Resources\Photo\Ramsey_COR_2023_1010\Loss\Ramsey_COR_2023_1010\Loss.aprx | Username: chad.poonce | Date Saved: 6/23/2023 9:56 AM

WATERFRONT VILLAGE

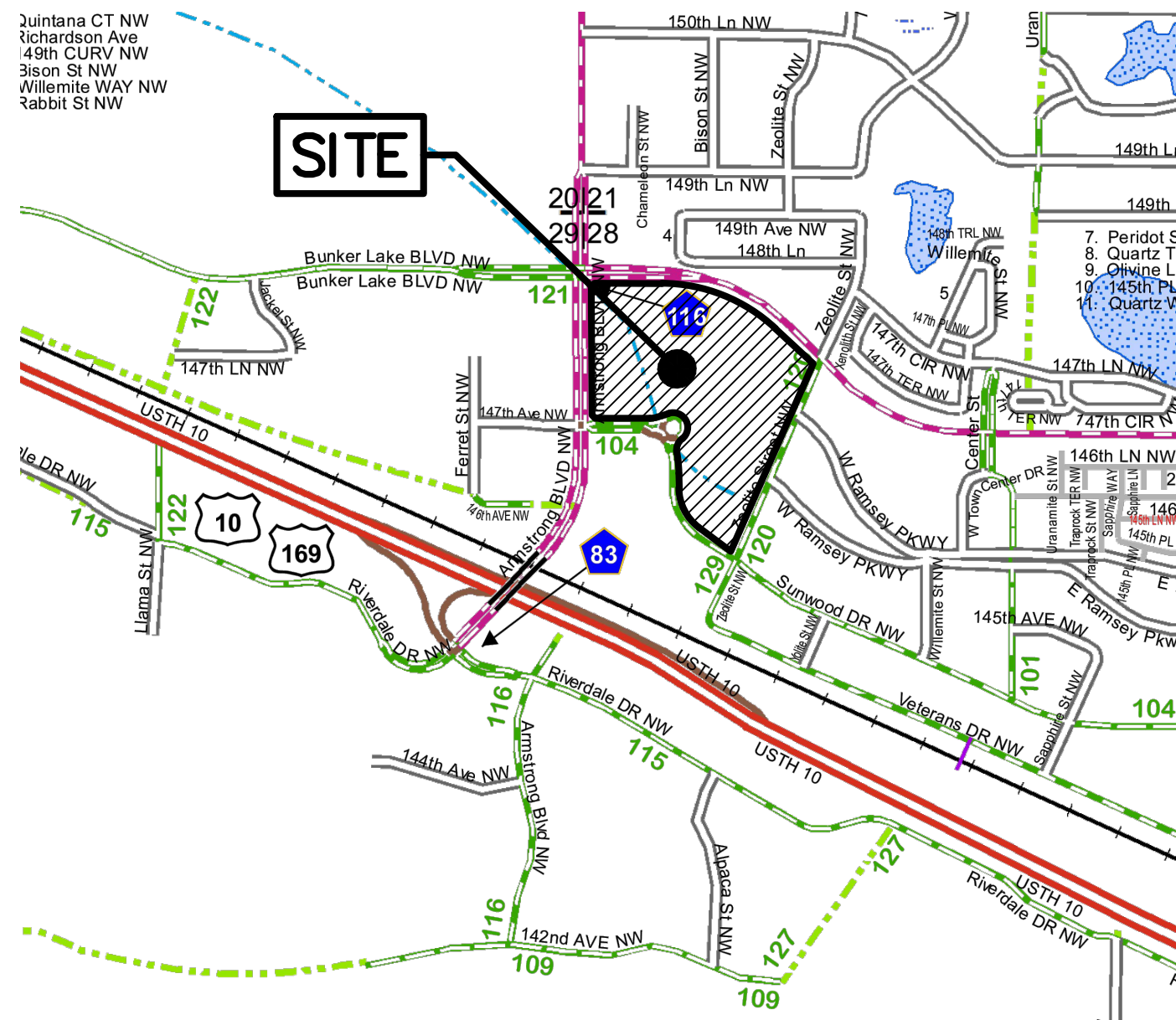
RAMSEY, MINNESOTA

1ST ADDITION CONSTRUCTION PLANS

FOR

CENTRA HOMES

11460 ROBINSON DRIVE, COON RAPIDS, MN
PHONE: (763) 772-1000



LOCATION MAP

1" = 1000'

STORM SEWER STRUCTURE SCHEDULE				
STRUCTURE NO.	TYPE	BUILD HEIGHT (FEET)	INSIDE DIAMETER	NEENAH CASTING
STMH-101	STORM MANHOLE	8.03	48"ø	R-1733
CBMH-102	CATCH BASIN MANHOLE	6.90	48"ø	R-3067
CBMH-103	CATCH BASIN MANHOLE	6.06	48"ø	R-3067
CBMH-104	CATCH BASIN MANHOLE	4.62	48"ø	R-3067
STMH-200	STORM MANHOLE	5.70	72"ø	R-1733
CBMH-201	CATCH BASIN MANHOLE	5.80	60"ø	R-3067
CBMH-202	CATCH BASIN MANHOLE	4.84	48"ø	R-3067
CB-203	CATCH BASIN	3.00	2'X3'	R-3067
CBMH-204	CATCH BASIN MANHOLE	5.51	48"ø	R-3067
CBMH-205	CATCH BASIN MANHOLE	3.30	48"ø	R-2570
CB-206	CATCH BASIN	2.18	48"ø	R-2570
CBMH-207	CATCH BASIN MANHOLE	3.50	48"ø	R-3067
CBMH-208	CATCH BASIN MANHOLE	3.36	48"ø	R-3067
CB-209	CATCH BASIN	3.00	2'X3'	R-3067

PROJECT COORDINATES

N 45° 14' 17.9"
W 93° 27' 56.0"

BENCHMARKS

#1 TNH AT SE CORNER OF BUNKER LAKE BOULEVARD NW AND ZEOLITE STREET NW
ELEV=873.56

PROJECT CONTACTS

PROJECT ENGINEER: JOEL G. COOPER, P.E. - JAMES R. HILL, INC.
DEVELOPER: PAUL J. TABONE - CENTRA HOMES
CITY ENGINEER: BRUCE WESTBY - CITY ENGINEER
NPDES OFFICER: JOSH NORMAN - MPCA
GENERAL CONTRACTOR REPRESENTATIVE: TBD

952-890-6044 (O)
763-772-1000 (O)
763-433-9825 (O)
651-757-2389 (O)

PROPERTY DESCRIPTION

Outlot A, RAMSEY PROPERTIES ADDITION, Anoka County, Minnesota
Torrens Property

ZONING INFORMATION

CURRENT ZONING: WEST & SOUTH SIDE DEVELOPMENT AREA
COR-2b (Commercial subdistrict)
COR-4b (Neighborhood subdistrict)

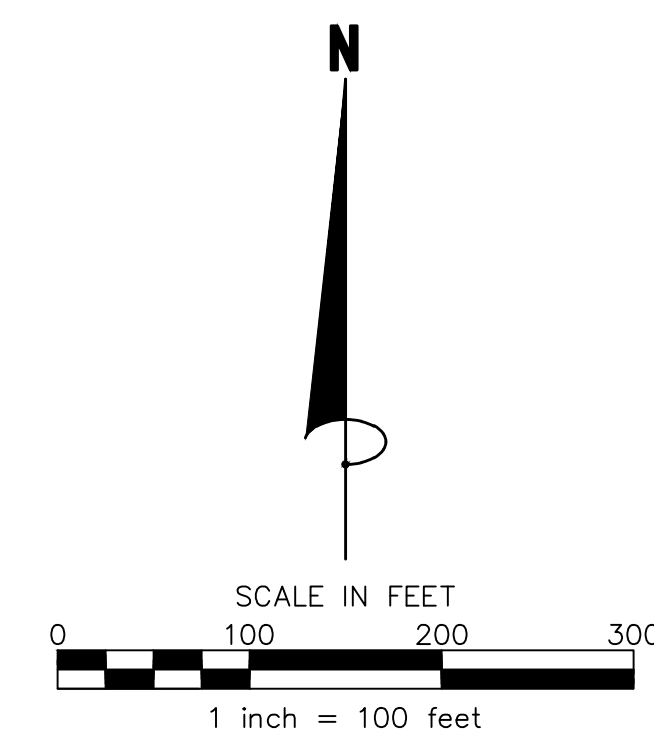
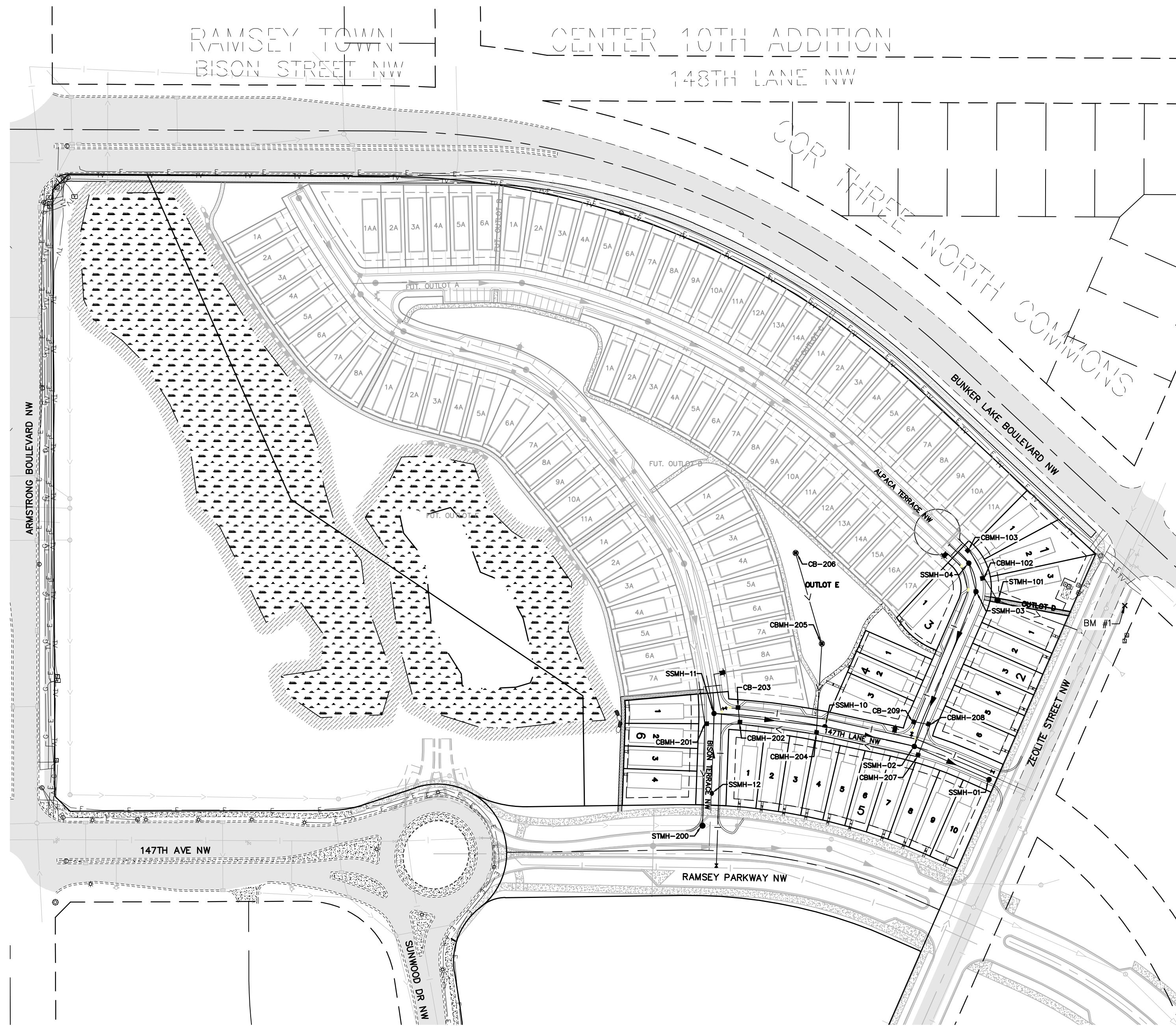
MINIMUM SETBACKS PROVIDED

BUILDING TO PUBLIC RIGHT OF WAY: 10 FEET
GARAGE SIDE TO OUTLOT A (PRIVATE DRIVE): 20 FEET
ENTRY SIDE TO FRONT SIDEWALK: 10 FEET
BUILDING TO COMMON SPACE OUTLOTS: 5 FEET
INTERIOR SIDE SETBACK: 5 FEET
MINIMUM LOT WITH AT SETBACK: 30 FEET

INDEX

TITLE SHEET	C1.0
EXISTING CONDITIONS	C1.1
SITE PLAN	C1.2
PHASING PLAN	C1.3
EROSION & SEDIMENT CONTROL PLAN	C3.0-C3.3
GRADING & DRAINAGE PLAN	C4.0-C4.2
SANITARY SEWER & WATERMAIN PLAN & PROFILES	C5.0-C5.1
STORM SEWER PLAN & PROFILES	C6.0-C6.1
STREET PLAN & PROFILES	C7.0-C7.1
CONSTRUCTION DETAILS	C8.0-C8.2
LANDSCAPE PLANS	L9.1-C9.4

LEGEND



James R. Hill, Inc.
PLANNERS / ENGINEERS / SURVEYORS
2999 W. Ctr. Rd. 42, Suite 100, Burnsville, MN 55306
PHONE: (952)890-6044 FAX: (952)890-6244

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
JOEL G. COOPER
Date: 12/15/23 Reg. No. 18495

WATERFRONT VILLAGE
RAMSEY, MINNESOTA
TITLE SHEET
FOR
CENTRA HOMES
11460 ROBINSON DRIVE, COON RAPIDS, MN

DRAWN BY	VUN
DATE	03/08/24
REVISIONS	
CAD FILE	24108-TS-P1
PROJECT NO.	24108
C1.0	

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LEGEND

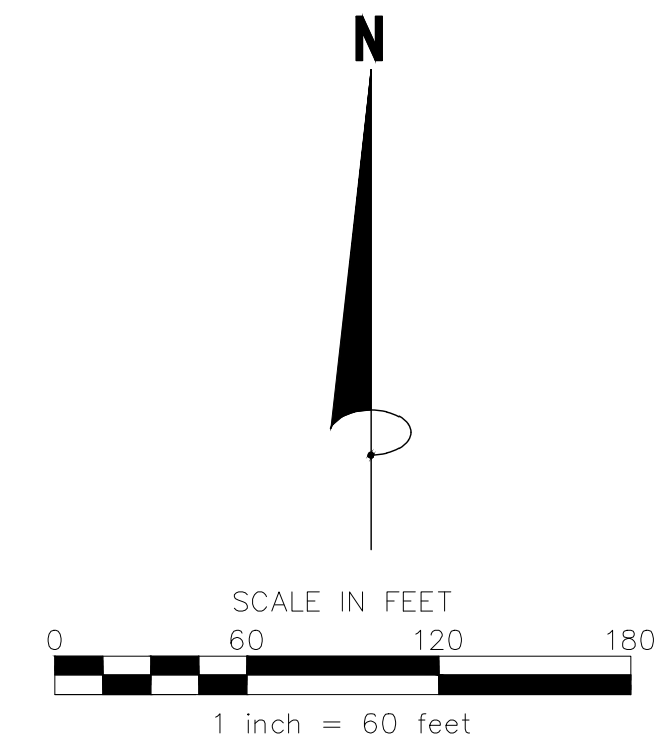
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- EXISTING TELEPHONE PEDESTAL
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- EXISTING WETLAND EDGE
- EXISTING SOIL BORING LOCATION
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- PROPOSED CONCRETE
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- POST STORM SEWER CONSTRUCTION
- PROPOSED YARD CB INLET PROTECTION
- POST STORM SEWER CONSTRUCTION
- PROPOSED TEMPORARY ROCK CONSTRUCTION ENTRANCE
- PROPOSED WETLAND BUFFER

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2999 W. Cty. Rd. 42, Suite 100, Burnsville, MN 55306
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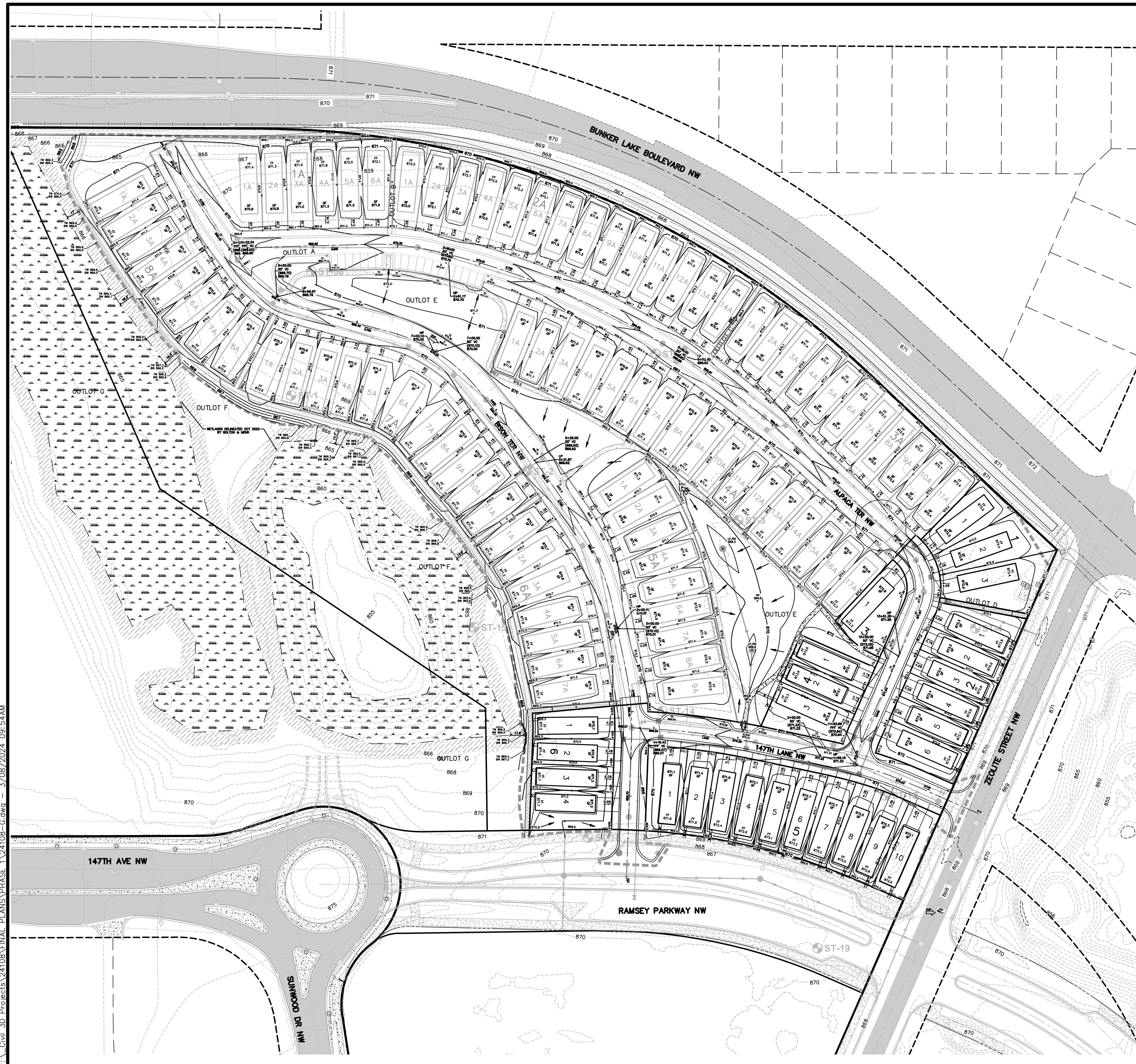
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 J. HILL, G. COOPER
 Date: 12/15/23 Reg. No. 18495

WATERFRONT VILLAGE
 RAMSEY, MINNESOTA
EROSION & SEDIMENT CONTROL PLAN
 FOR
CENTRA HOMES
 11460 ROBINSON DRIVE, COON RAPIDS, MN

DRAWN BY	VUN
DATE	03/08/24
REVISIONS	
CAD FILE	24108-ERC-P1
PROJECT NO.	24108
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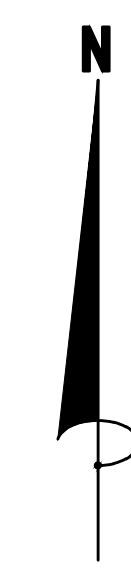
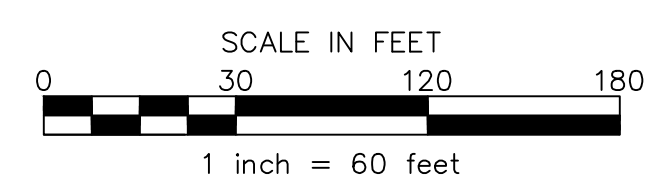
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- PROPOSED GRADING LIMITS
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED CONCRETE
- PROPOSED ASPHALT SURFACE
- PROPOSED WETLAND BUFFER

STANDARD GRADING NOTES:

1. SPECIFICATIONS WHICH APPLY ARE THE MOST RECENT EDITIONS OF THE MUNICIPALITY IN WHICH THE WORK IS LOCATED AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION UNLESS MODIFIED HEREIN ON THESE CONTRACT DOCUMENTS.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE THE "GOPHER STATE ONE CALL" EXCAVATION NOTICE SYSTEM AS REQUIRED UNDER MINNESOTA STATUTE CHAPTER 216D. CALL 811 OR SUBMIT A TICKET AT gopherstateonecall.org AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION.
3. GRADING CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
4. ALL CONSTRUCTION AS CALLED FOR ON THESE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH ALL OSHA REQUIREMENTS.
5. ALL LOT AND EASEMENT DIMENSIONS ARE SUBJECT TO FINAL PLAT.
6. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO DISPOSE OFF-SITE ALL TREES, STUMPS, BRUSH, OR OTHER DEBRIS THAT EXISTS WITHIN THE CONSTRUCTION AREAS. TREES TO REMAIN SHALL BE DESIGNATED BY THE ENGINEER.
7. THE GRADING CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER SO THAT CERTIFICATION OF ALL CONTROLLED FILLS CAN BE FURNISHED TO THE OWNER DURING AND UPON COMPLETION OF THE PROJECT.
8. DENSITY TESTS SHALL BE TAKEN TO EVALUATE THE COMPACTION WITHIN THE STREETS, TRAVEL WAYS OR PARKING LOTS, WITHIN THE UPPER 3 FEET OF STREET, TRAVEL WAYS OR PARKING LOT SUBGRADE. THE CONTRACTOR SHALL INSURE THAT ALL SOILS BE NOT MORE THAN ONE PERCENTAGE POINT OVER THE SOIL'S STANDARD PROCTOR OPTIMUM MOISTURE CONTENT, AND THAT COMPACTION TO A MINIMUM OF 100% OF STANDARD PROCTOR DENSITY BE PROVIDED. IN AREAS BELOW THE UPPER THREE FEET OF SUBGRADE OF THE STREETS, TRAVEL WAYS OR PARKING LOTS, THE CONTRACTOR SHALL INSURE THAT ALL SOILS BE NOT MORE THAN THREE PERCENTAGE POINTS OVER THE SOIL'S STANDARD PROCTOR OPTIMUM MOISTURE CONTENT, AND THAT COMPACTION TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY BE PROVIDED. THE GRADING TOLERANCE FOR THESE AREAS SHALL BE WITHIN 0.1".
9. LOT GRADING AND/OR THE PREPARATION OF BUILDING PADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE GRADING TOLERANCE SHALL BE 0.30"±. ALL EARTHWORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE HUD-FHA DATA SHEET 79G "LAND DEVELOPMENT WITH CONTROLLED EARTHWORK", PROVIDING FOR A MINIMUM OF 95% STANDARD DENSITY, OR AS OTHERWISE SPECIFIED BY THE GEO-TECHNICAL ENGINEER.
10. IN AREAS WHERE RETAINING WALLS ARE PROPOSED ON CONTROLLED FILL AREAS, A MINIMUM 95% STANDARD DENSITY NEEDS TO BE ATTAINED WHERE FILL THICKNESS EXCEEDS 10' BELOW WALL FOUNDATION ELEVATIONS. A HIGHER MINIMUM OF 98% SHALL BE ATTAINED.
11. BUILDING PADS SHOWN ON EACH LOT ARE TYPICAL ONLY. THE DEPTH OF THE PAD FROM FRONT TO BACK SHALL BE GRADED THROUGHOUT THE FULL WIDTH OF THE LOT OR AS NECESSARY TO ALLOW FOR CONSTRUCTION OF A BUILDING AT THE MINIMUM SIDE YARD SETBACKS. (REFER TO THE PLANS FOR SPECIFIC SETBACK DISTANCES.) IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED WITHIN A PROPOSED BUILDING PAD THAT CANNOT BE CORRECTED OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF THE CONDITIONS AND TO LOCATE THE LIMITS OF THE UNSUITABLE AREAS.
12. THE SITE GRADING TOLERANCE FOR THE SITE SHOULD BE ±0.1' FOR STREETS AND ±0.30' FOR LANDSCAPED/OPEN AREAS.
13. TOPSOIL SHALL BE RE-SREAD AT A MINIMUM DEPTH OF 4" ON ALL DISTURBED AREAS TO BE VEGETATED.

SPECIFIC GRADING NOTES:

1. THE EXISTING TOPOGRAPHY AND CONTOUR ELEVATIONS ON THE PLANS WERE PROVIDED BY JAMES R. HILL DRONE TOPOGRAPHY, FLOWN ON NOVEMBER 21, 2023. THE DEGREE OF ACCURACY OF THE EXISTING CONTOURS SHOWN ON THE PLAN IS EQUAL TO ± ONE HALF THE CONTOUR INTERVAL.



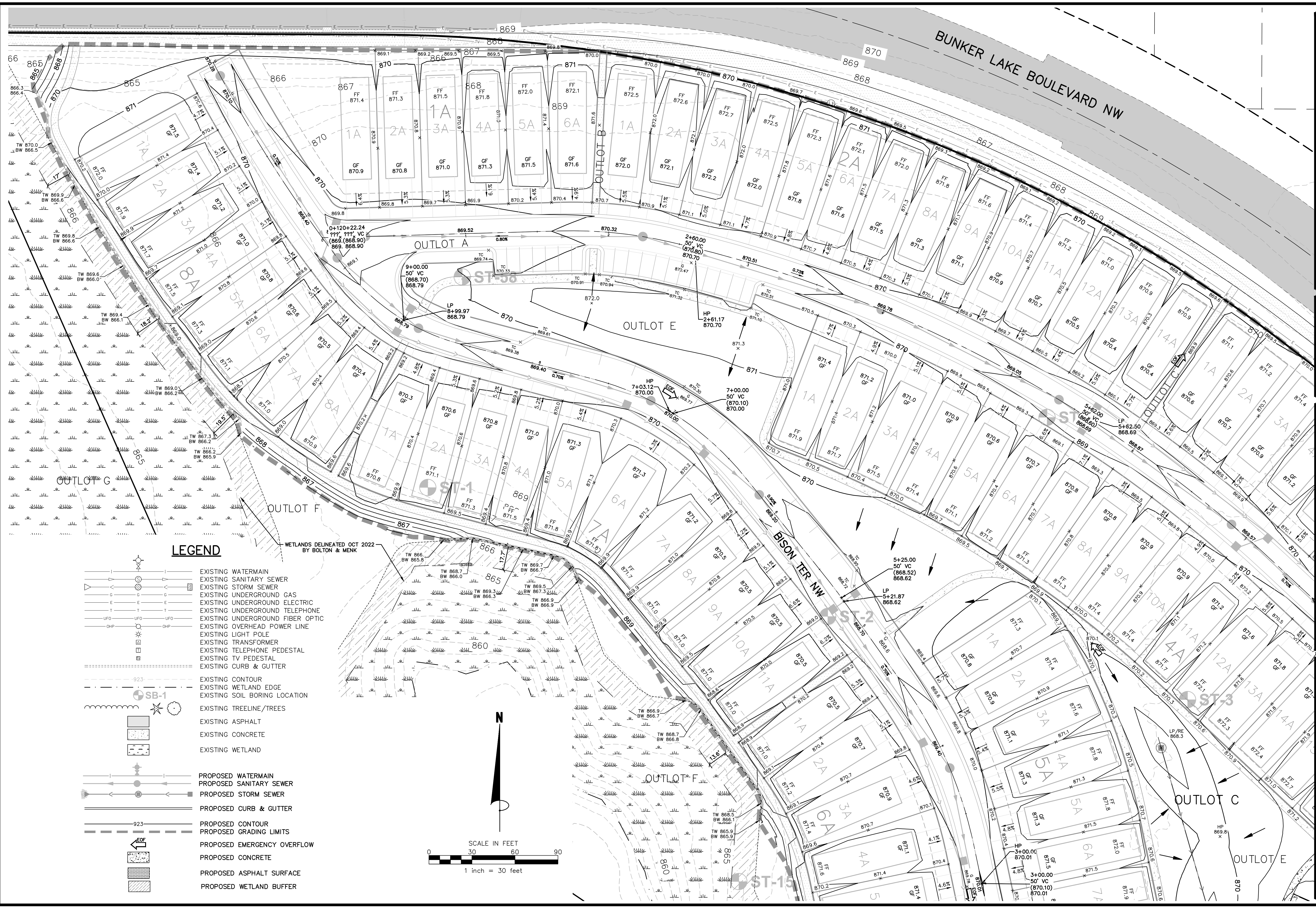
James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
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 PHONE: (952)890-6044 FAX: (952)890-6244

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 JAMES R. HILL, P.E.
 Date: 12/15/23 Reg. No. 18095

WATERFRONT VILLAGE
 RAMSEY, MINNESOTA
GRADING & DRAINAGE PLAN
 FOR
CENTRA HOMES
 11460 ROBINSON DRIVE, COON RAPIDS, MN

DRAWN BY	VUN
DATE	12/15/23
REVISIONS	
CAD FILE	24108-G
PROJECT NO.	24108
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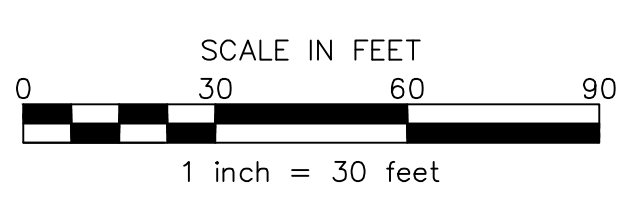
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WETLANDS DELINEATED OCT 2022 BY BOLTON & MENK



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WATERFRONT VILLAGE
 RAMSEY, MINNESOTA
GRADING & DRAINAGE PLAN
 FOR
CENTRA HOMES
 11460 ROBINSON DRIVE, COON RAPIDS, MN

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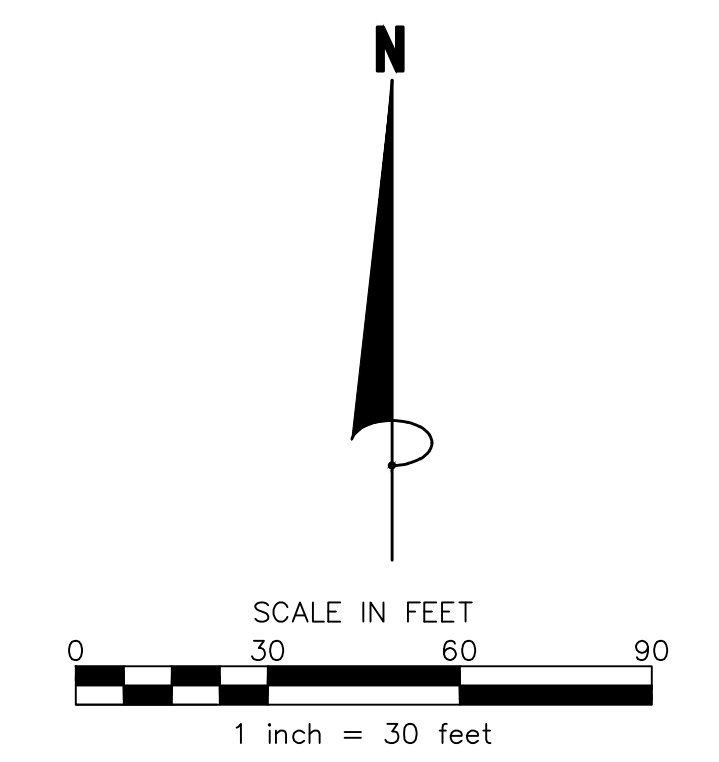
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1	2	SOG	873.4	869.9	-	854.6 (ST-4)	870.9	EOF
1	3	SOG	873.4	869.9	-	854.6 (ST-4)	870.9	EOF
2	1	SOG	873.8	869.9	-	854.6 (ST-4)	870.9	EOF
2	2	SOG	874	869.9	-	854.6 (ST-4)	870.9	EOF
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 RANSEY, MINNESOTA
GRADING & DRAINAGE PLAN
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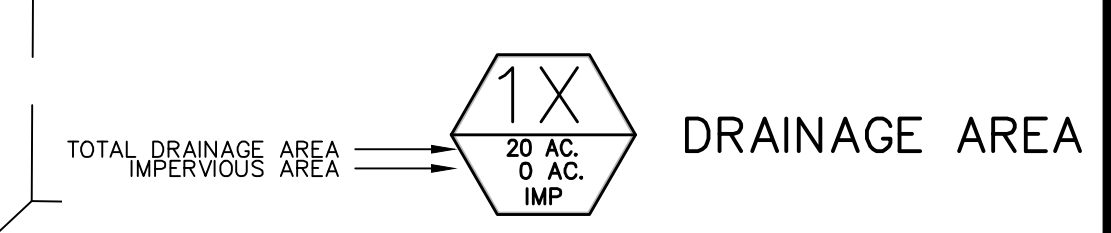
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REVISIONS	
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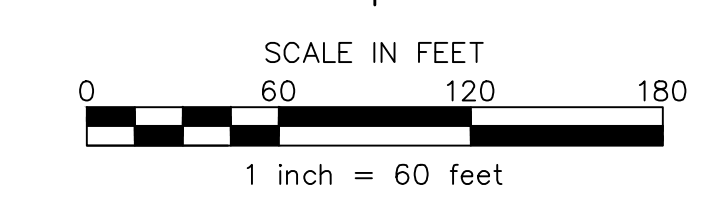
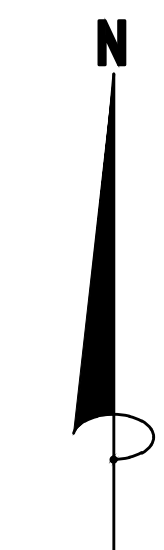


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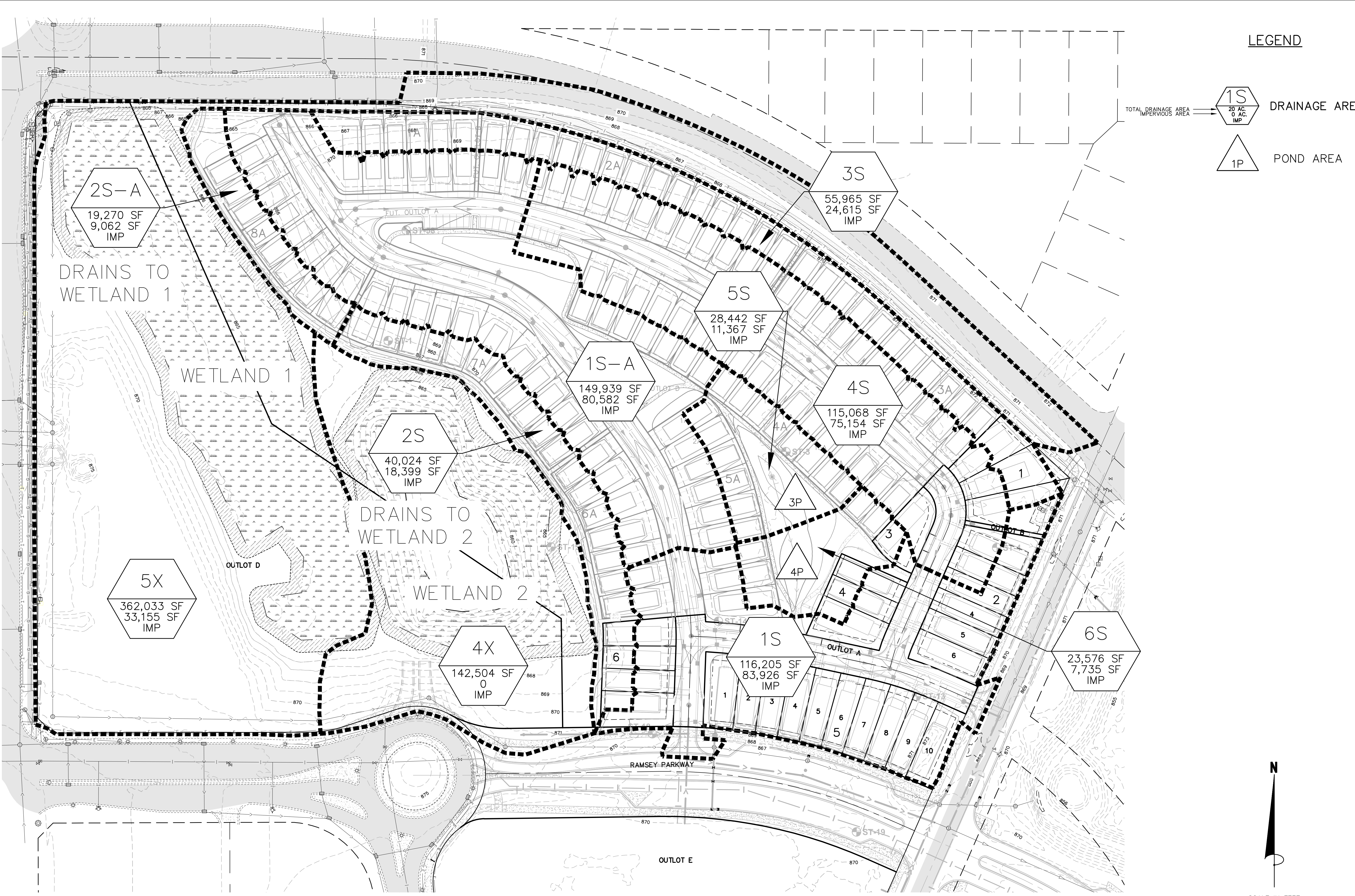
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 J. GILL G. COOPER
 Date: 12/15/23 Reg. No. 18495

WATERFRONT VILLAGE
 RAMSEY, MINNESOTA
EXISTING DRAINAGE MAP
 FOR
CENTRA HOMES
 11460 ROBINSON DRIVE, COON RAPIDS, MN

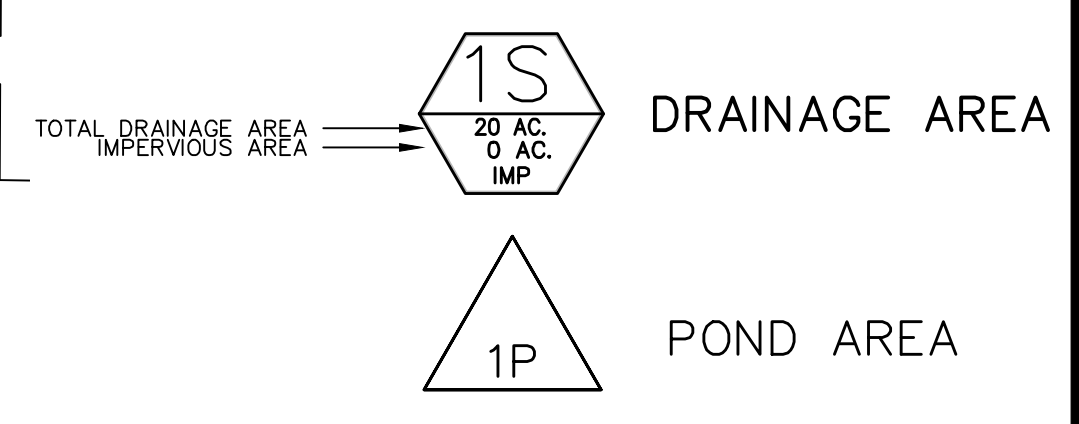
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EXISTING DRAINAGE MAP



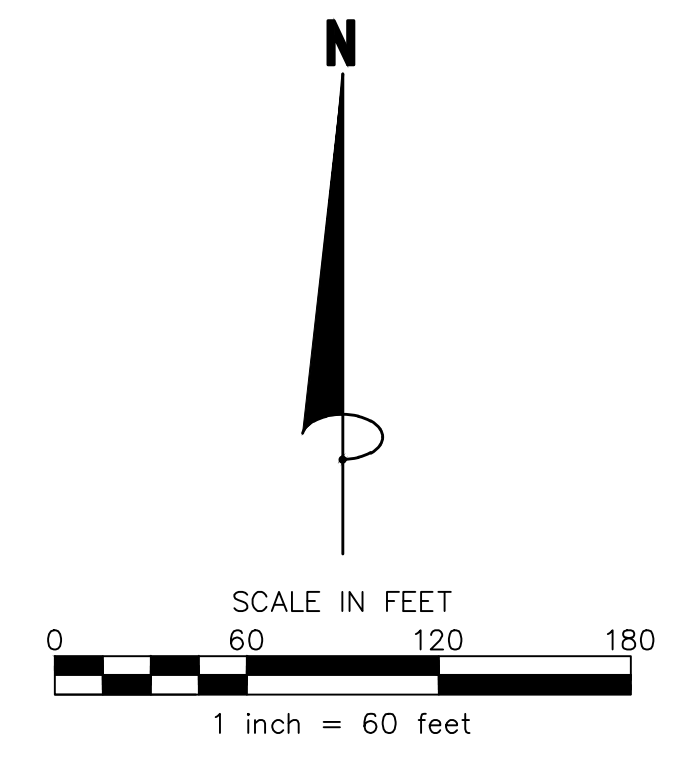
LEGEND



DRAINS TO WETLAND 1

DRAINS TO WETLAND 2

PROPOSED DRAINAGE MAP



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JOEL G. COOPER
Date: 12/15/23 Reg. No. 18495

WATERFRONT VILLAGE
DRAINAGE MAP
CENTRA HOMES

RAMSEY, MINNESOTA
FOR
11460 ROBINSON DRIVE, COON RAPIDS, MN

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GRADING, STORMWATER MANAGEMENT AND EROSION/ SEDIMENT CONTROL PERMIT APPLICATION

A \$150.00 application fee and additional \$700.00 escrow deposit must accompany this permit application.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

The permit application and supporting documentation must be submitted to the LRRWMO by the THIRD THURSDAY OF THE MONTH TO BE ON THE FOLLOWING REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AGENDA. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: Waterfront Village

Address/Location: Bunker Lake Blvd and Zeolite, Ramsey, MN

Project Description/Purpose: Residential Neighborhood

City of Ramsey (Owner)
Name of Applicant (Site Owner or Property Owner)
7550 Sunwood Dr NW
Address
Ramsey, MN 55303
City, State, Zip
763-433-9868
Phone Fax
SSullivan@cityoframsey.com
Email

David Pattberg Centra Homes LLC (Developer)
Applicant's Contact Organization Name
11460 Robinson Dr NW
Address
Coon Rapids, MN 55433
City, State, Zip
763-772-1017
Phone Fax
david.pattberg@centrahomes.com
Email

Submittal Requirements

Completed Grading, Stormwater Management and Erosion/ Sediment Control permit applications are to be submitted as per LRRWMO attachments G1 (Permit Requirements) and G2 (Office Procedure) included with this application. Note that projects involving potential wetland impacts and/or involving a Wetland Replacement Plan require a separate permit application and are subject to additional requirements.

PROJECT SUBMITTALS (check all that apply):

<input checked="" type="checkbox"/>	GRADING PLAN: Including existing and proposed contours and boundaries of all wetlands and surface waters.
<input checked="" type="checkbox"/>	STORM SEWER/ DRAINAGE PLAN: Including all permanent drainage features and all permanent water quality features.
<input checked="" type="checkbox"/>	STORM DRAINAGE CALCULATIONS: Design computations as required by the LRRWMO.
<input checked="" type="checkbox"/>	EROSION CONTROL PLAN: Including all temporary and permanent measures proposed to retain all sediment on site.
<input type="checkbox"/>	OTHER

START OF
PROJECT: May 2024

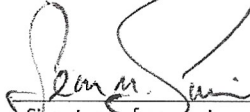
EST. COMPLETION
DATE: Sept 2027

APPROVAL
DATE: _____

By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

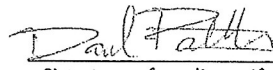
1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."



Signature of property owner or designated
Agent (no agent without a letter of authority)

2/20/24
Date



Signature of applicant if different from
property owner

2/16/2024
Date

Sean M. Sullivan

Print Signer's name

David Pattberg

Print Signer's name

Application Acknowledged by City:



Name of City Official

RAMSEY

City

2-20-24

Date

SIGNATURE OF LRRWMO CHAIRMAN: **

****NOTE: Subject to conditions recommended by Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

Memorandum

To: Lower Rum River Water Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Date: April 12, 2024
Subject: Permit #2024-09: Waterfront Village: Ramsey



We received plans and a permit application for the Waterfront Village development to be located on a parcel within the western portion of the larger Ramsey Town Center (now known as the COR) in the City of Ramsey bounded by Bunker Lake Boulevard Northwest, Ramsey Parkway Northwest, Armstrong Boulevard Northwest, and Zeolite Street Northwest. The project proposes the development of a currently vacant +/- 12.6-acre area into 110 single family homes, associated parking, and private streets. The project will involve 7.14 acres of new impervious area (approximately 57% of the site area).

This project is located within a Drinking Water Supply Management Area (DWSMA) where infiltration of stormwater is prohibited. The LRRWMO Management Plan describes/defines sites, such as those located within a DWSMA, as infeasible or inappropriate for infiltration and identifies other scenarios for the permittee to investigate.

The City has indicated that rate control, complying with LRRWMO criteria, will be provided by the newly constructed Waterfront Regional Pond downstream and to the east of the site. Volume retention and water quality management requirements will be provided by the City within the regional basin constructed and located outside the DWSMA, LRRWMO Permit #2018-06. A letter will be provided by the City confirming use of additional capacity within these regional ponds before the April 18th Board meeting.

The volume retention required from 1-inch of runoff from the +/- 311,000 square feet of proposed site impervious area is 25,918 cubic feet. This is also the water quality volume required to comply with the 60% annual removal efficiency for phosphorous and 90% annual removal efficiency of total suspended solids.

As summarized in our November 12, 2020 memorandum to the LRRWMO for Permit #2018-06, the Southeast Infiltration Basin, an excess retention volume of 422,971 cubic feet (current volume available 351,080 cubic feet including Permit #2024-09) is available in the constructed and functional basin for projects that cannot comply with the LRRWMO on-site volume retention because of site specific constraints.

Approximately 2.65 acres (45% impervious) of the proposed development area discharge directly to the adjacent wetlands. For these areas, the applicant must demonstrate compliance with the LRRWMO water quality requirements. Stormwater calculations show that the proposed wetland buffers and

drainage swale will provide an annual removal efficiency of 90% for total suspended solids (412 lbs.) and 79% for total phosphorous (2.0 lbs.).

Because portions of the proposed development discharge to the adjacent landlocked wetlands, the applicant was required to demonstrate the proposed project’s impacts to the downstream wetlands during the 100-year, back-to-back rainfall event and 100-year, 10-day snowmelt event. The following table summarizes the project’s impacts on peak elevations in the adjacent wetlands during these events. As shown, the project will not increase flood elevations in the landlocked wetlands under these events. The lowest low floor elevation of the proposed homes neighboring the wetlands is 870.8 feet, providing 5.1 feet of separation from the predicted high water level of 865.7 feet, which exceeds LRRWMO’s requirement of at least 2.0 feet of separation.

Discharge Location	100-Year, back-to-back		100-Year, 10-Day Snowmelt	
	Flood Elevation		Flood Elevation	
	Existing	Proposed	Existing	Proposed
Wetland 1	865.9	865.7	865.5	865.5
Wetland 2	866.2	864.6	865.3	862.4

Compliance with requirements of the Wetland Conservation Act and comments from the Technical Evaluation Panel (TEP) are being reviewed under LRRWMO Permit #2024-08.

The HydroCAD modeling provided indicates a 100-year frequency elevation for the low area in the center of the development within Outlot E of 869.2 feet. The lowest proposed finish floor elevation of the adjacent homes is to be 871.3 feet. This provides 2.1 feet of separation, which exceeds LRRWMO’s requirement of at least 2.0 feet of freeboard from the high water of the nearby storm water facility.

The erosion and sediment control plan shows perimeter control around the entire site, inlet protection at proposed and adjacent existing catch basins, and wetland buffers. Two rock construction entrances

are to be provided at the entryway onto the site from Zeolite Street Northwest and 147th Avenue Northwest.

It is our recommendation that the LRRWMO approve of the permit for this project subject to the following conditions:

1. The vertical datum must be noted on the Plans.
2. Erosion control measures must be installed at the initial stage of site grading operations.
3. Upon completion of construction and restoration of disturbed areas, the permit applicant is responsible for the removal of all erosion control measures installed throughout the construction site.
4. To minimize the potential of material from leaving the site and being tracked onto the roadway, the rock filter construction entrance being a minimum of two feet in height and having side slopes of 4:1 must be constructed at the entryway onto the site. The rock construction entrance will provide an erosion control facility and enable construction traffic to enter the site.
5. Street sweeping must be undertaken and completed on an as needed basis.
6. A restoration plan be provided for the restoration of pervious areas disturbed during construction.
7. Compliance with the storm water management requirements of the Lower Rum River Watershed Management Organization is to be administered for this project by the City of Ramsey.
8. The storm water management plan for future development has assumed an imperviousness of 57%. Site development that exceeds an impervious area of 57% must provide an updated storm water management plan showing the LRRWMO criteria is met.
9. The design of the Bunker Lake Road discharge (subwatershed 3S) maintains the ditch to Wetland 1. Site development that does not result in subwatershed 3S being routed to Wetland 1 must provide an updated stormwater management plan showing the LRRWMO criteria is met.
10. An amount of 25,918 cubic feet is to be debited from the available volume retention provided within the COR Infiltration Basin.
11. In all cases where the doing by the permittee of anything authorized by this permit shall involve the taking, using, or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee; before proceeding; shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all necessary property rights and interest.

GRADING, STORMWATER MANAGEMENT AND EROSION/ SEDIMENT CONTROL PERMIT APPLICATION

A \$150.00 application fee and additional \$700.00 escrow deposit must accompany this permit application.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

The permit application and supporting documentation must be submitted to the LRRWMO by the THIRD THURSDAY OF THE MONTH TO BE ON THE FOLLOWING REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AGENDA. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: HARMONY FARMS

Address/Location: PID:10-32-25-42-0009

Project Description/Purpose: 57-Unit Single Family Development

Name of Applicant (Site Owner or Property Owner)	
<u>Dutch Investment LLC</u>	
Address <u>ATTN R. Stratton</u>	
<u>4731 Bonita Bay Blvd #1102</u>	
City, State, Zip	
<u>Bonita Springs, FL 34134</u>	
Phone	Fax
<u>239-628-9177</u>	
Email	
<u>r.g.stratton@gmail.com</u>	

Applicant's Contact	Organization Name
<u>Josh Metzger - U.S. Home, LLC</u>	
Address	
<u>16305 36th Ave. N., Suite 600</u>	
City, State, Zip	
<u>Plymouth, MN 55446</u>	
Phone <u>612-360-9881</u>	Fax
Email <u>Josh.Metzer@Lennar.com</u>	

Submittal Requirements

Completed Grading, Stormwater Management and Erosion/ Sediment Control permit applications are to be submitted as per LRRWMO attachments G1 (Permit Requirements) and G2 (Office Procedure) included with this application. Note that projects involving potential wetland impacts and/or involving a Wetland Replacement Plan require a separate permit application and are subject to additional requirements.

PROJECT SUBMITTALS (check all that apply):

<input checked="" type="checkbox"/>	GRADING PLAN: Including existing and proposed contours and boundaries of all wetlands and surface waters.
<input checked="" type="checkbox"/>	STORM SEWER/ DRAINAGE PLAN: Including all permanent drainage features and all permanent water quality features.
<input checked="" type="checkbox"/>	STORM DRAINAGE CALCULATIONS: Design computations as required by the LRRWMO.
<input checked="" type="checkbox"/>	EROSION CONTROL PLAN: Including all temporary and permanent measures proposed to retain all sediment on site.
<input type="checkbox"/>	OTHER

START OF
PROJECT: _____

EST. COMPLETION
DATE: _____

APPROVAL
DATE: _____

By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter: "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

<p><u>Dutch Investment LLC</u> by <u>Ronald Stratton mg</u> Signature of property owner or designated Agent (no agent without a letter of authority)</p>	<p><u>12-20-23</u> Date</p>	<p><u>Joshua D. Metzger</u> Signature of applicant if different from property owner</p>	<p><u>12/15/2023</u> Date</p>
<p><u>Ronald Stratton</u> Print Signer's name</p>	<p><u>Josh Metzger</u> Print Signer's name</p>		
<p>Application Acknowledged by City:</p>	<p><u>LEONARD LINTON</u> Name of City Official</p>	<p><u>Ramsey</u> City</p>	<p><u>3/11/24</u> Date</p>

SIGNATURE OF LRRWMO CHAIRMAN: ** _____

****NOTE: Subject to conditions recommended by Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL



Memorandum

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Date: April 12, 2024
Subject: Permit #2024-10: Harmony Farms: Ramsey

The LRRWMO has received plans, a stormwater report and a LRRWMO permit application for the construction of a 57-unit single family home development with associated roadways, parking, and utilities on a 22.8 +/- acre parcel located northeast of the intersection of Nowthen Boulevard and 167th Avenue Northwest in the City of Ramsey.

Comments have been submitted to the project agent, Pioneer Engineering. A revised permit submittal was received on April 11th and is currently under review. We are recommending this item be continued by the LRRWMO to its May meeting, and the review period extended for a 60-day time period as required by Mn Statutes 15.99.

GRADING, STORMWATER MANAGEMENT AND EROSION/ SEDIMENT CONTROL PERMIT APPLICATION

A \$150.00 application fee and additional \$700.00 escrow deposit must accompany this permit application.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

The permit application and supporting documentation must be submitted to the LRRWMO by the THIRD THURSDAY OF THE MONTH TO BE ON THE FOLLOWING REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AGENDA. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: <u>2024 Street Recon (South Portion) & 7th Ave Trail</u>	
Address/Location: <u>East of 7th Ave, North of 143rd Ave, South of 145th Ave - Andover</u>	
Project Description/Purpose: <u>Street Recon, storm sewer replacements, trail construction</u>	
<u>City of Andover</u>	<u>Jason Law</u>
Name of Applicant (Site Owner or Property Owner)	Applicant's Contact Organization Name
<u>1685 Crosstown Blvd NW</u>	Address <u>SAME</u>
Address	City, State, Zip
<u>Andover, MN 55304</u>	Phone Fax
City, State, Zip	<u>763-767-5130 763-753-8923</u>
Phone Fax	Email
<u>J.Law@Andovermn.gov</u>	
Email	

Submittal Requirements

Completed Grading, Stormwater Management and Erosion/ Sediment Control permit applications are to be submitted as per LRRWMO attachments G1 (Permit Requirements) and G2 (Office Procedure) included with this application. Note that projects involving potential wetland impacts and/or involving a Wetland Replacement Plan require a separate permit application and are subject to additional requirements.

PROJECT SUBMITTALS (check all that apply):

- GRADING PLAN: Including existing and proposed contours and boundaries of all wetlands and surface waters.
- STORM SEWER/ DRAINAGE PLAN: Including all permanent drainage features and all permanent water quality features.
- STORM DRAINAGE CALCULATIONS: Design computations as required by the LRRWMO.
- EROSION CONTROL PLAN: Including all temporary and permanent measures proposed to retain all sediment on site.
- OTHER

START OF PROJECT: 4/22/24

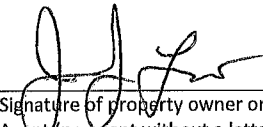
EST. COMPLETION DATE: 8/16/24

APPROVAL DATE: _____

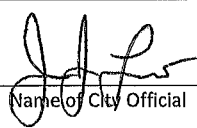
By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

 _____ Signature of property owner or designated Agent (no agent without a letter of authority)	<u>3/8/24</u> _____ Date	_____ Signature of applicant if different from property owner	_____ Date
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------	------------------------------------------------------------------	---------------

<u>Jason Law</u> _____ Print Signer's name	_____ Print Signer's name
--------------------------------------------------	------------------------------

Application Acknowledged by City:	 _____ Name of City Official	<u>Andover</u> _____ City	<u>3/8/24</u> _____ Date
------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	---------------------------------	--------------------------------

SIGNATURE OF LRRWMO CHAIRMAN: ** _____

****NOTE: Subject to conditions recommended by Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL



1685 CROSTOWN BLVD., NW
ANDOVER, MN 55304

WELLS FARGO BANK, N.A.
COON RAPIDS, MN 55433
17-1-910

No.

68478

ONE HUNDRED FIFTY AND XX / 100

3/8/2024

\$150.00

LRRWMO
2015 First Avenue North
Anoka, MN 55303

⑈0068478⑈ ⑆091000019⑆010165100⑈

CITY OF ANDOVER

No.

68478

Check Date: 03/08/2024
Check Amount: 150.00

Vendor No: LRRWMO
Vendor Name: LRRWMO
Vendor Acct No:

Invoice Number	Date	Description	Amount
	03/07/2024	2024 Street Reconstruction	150.00



1685 CROSSTOWN BLVD., NW
ANDOVER, MN 55304

WELLS FARGO BANK, N.A.
COON RAPIDS, MN 55433
17-1-910

No.

68479

SEVEN HUNDRED AND XX / 100

3/8/2024

\$700.00

LRRWMO
2015 First Avenue North
Anoka, MN 55303

⑈0068479⑈ ⑆091000019⑆010165100⑈

CITY OF ANDOVER

No.

68479

Check Date: 03/08/2024
Check Amount: 700.00

Vendor No: LRRWMO
Vendor Name: LRRWMO
Vendor Acct No:

Invoice Number	Date	Description	Amount
	03/07/2024	2024 Street Reconstruction	700.00

Memorandum

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Date: April 12, 2024
Subject: Permit #2024-11: 2024 Street Reconstruction (Southern Portion): Andover



We have received plans and a LRRWMO permit application for the southern portion of the City of Andover's Street Reconstruction project along 7th Avenue Frontage Road, Inca Street Northwest, 144th Lane Northwest, Guarani Street Northwest, and 145th Avenue Northwest, north of 143rd Avenue Northwest and south of 145th Lane Northwest. The work will involve the reconstruction of +/- 2,100 linear feet of roadway, +/- 500 linear feet of trail replacement, and associated site grading and utility replacement. The existing drainage patterns are to be maintained, and the project will only increase the total impervious area by 0.12 acres within the 5.2-acre project corridor.

Because this is a road reconstruction project that will not increase impervious area more than 1 acre or alter drainage patterns, the LRRWMO storm water requirements are not applicable for the project. The LRRWMO erosion and sediment control requirements do apply.

Silt fence is proposed along downgradient sides of the trail construction areas. Sediment control logs are proposed within existing drainage ditches and around culvert ends where runoff discharges from the site. Inlet protection will be installed at storm sewer inlets within the construction area. Disturbed areas are to be restored with 4 inches of topsoil, fertilizer, erosion control blanket, and seeding.

No construction entrances are being proposed because the pavement will be similar to hard-packed gravel and the City reports receiving complaints about the use of construction entrances on past street reconstruction projects. In lieu of construction entrances, the contractor will be required to conduct street sweeping on a daily basis. If daily sweeping is not sufficient to address the tracking of sediments, more frequent sweeping should be required. If more frequent sweeping proves ineffective, construction entrances should be required.

Compliance with requirements of the Wetland Conservation Act and comments from the Technical Evaluation Panel (TEP) are being reviewed under LRRWMO Permit #2024-12.

It is our recommendation that the LRRWMO approve the erosion control permit for this project subject to the following conditions:

1. Erosion control measures must be installed prior to the commencement of construction.

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Subject: Permit #2024-11: 2024 Street Reconstruction (Southern Portion): Andover
Date: April 12, 2024
Page: 2

2. Upon completion of construction and restoration of disturbed areas, the permit applicant is responsible for the removal of all erosion control measures installed throughout the construction site.
3. Perimeter control must be installed along the perimeter the proposed street reconstruction upstream of the wetland to the southeast of the site at the intersection of 144th Lane N.W. and Guarani Street N.W.
4. In lieu of construction entrances, street sweeping must be undertaken and completed on a daily basis, or more if needed. If tracking of sediment occurs, the contractor will be required to install construction entrances.
5. The project plan for the roadway reconstruction shows a 0.12-acre increase in the project impervious area. Should plans change, and improvements result in an increase in impervious area greater than 1.0 acres, a storm water management plan must be provided showing the LRRWMO storm water criteria are met.
6. In all cases where the doing by the permittee of anything authorized by this permit shall involve the taking, using, or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee; before proceeding; shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all necessary property rights and interest.

APPLICATION FOR MINNESOTA WETLAND CONSERVATION ACT (WCA) DECISIONS AND PROCEDURE REQUIREMENTS

A \$150.00 LRRWMO initial application fee and the appropriate escrow deposits (determined in accordance with Attachment W3) must accompany this permit application for any Wetland Conservation Act (WCA) decisions. These are separate and in addition to permit and escrow fees for Grading, Stormwater Management, and Erosion/Sediment Control permit application, if applicable.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

Wetland permit processing takes longer than other permit processing. The permit application and supporting documentation should be submitted to the LRRWMO AT LEAST 60 DAYS PRIOR TO THE REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AT WHICH A DECISION IS REQUESTED. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: <u>2024 Street Recon (South Portion)</u>	
Address/Location: <u>Corner of 144TH Lane & Guarani St</u>	
Project Description/Purpose: <u>Storm Sewer Replacement</u>	
<u>City of Andover</u>	<u>Jason Law</u>
Name of Applicant (Site Owner or Property Owner)	Applicant's Contact Organization Name
<u>1685 Cross-town Blvd NW</u>	Address
Address	<u>SAME</u>
<u>Andover, MN 55304</u>	City, State, Zip
City, State, Zip	City, State, Zip
<u>763-767-5130 763-755-8923</u>	Phone
Phone Fax	Phone Fax
<u>J. Law @ Andovermn.gov</u>	Email
Email	Email

Submittal Requirements

Complete applications are to be submitted as per LRRWMO attachments W1 (Permit Requirements), W2 (Office Procedure), and W3 (Fees, Deposit, and Sureties for Wetland Conservation Act) included with this application. Projects may also require a LRRWMO Grading, Stormwater Management, and Erosion/Sediment Control Permit (separate application and fee/escrow amounts)

PROJECT SUBMITTALS (check all that apply):

<input type="checkbox"/>	WETLAND BOUNDARY DELINEATION AND TYPE CONCURRENCE
<input checked="" type="checkbox"/>	REQUEST FOR NO LOSS OR EXEMPTION UNDER THE WETLAND CONSERVATION ACT (WCA)
<input type="checkbox"/>	WETLAND REPLACEMENT PLAN AND/OR SEQUENCING
<input type="checkbox"/>	WETLAND BANKING PLAN
<input type="checkbox"/>	OTHER



START OF PROJECT: 4/22/24

EST. COMPLETION DATE: 8/16/24

APPROVAL DATE: _____

By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

	<u>3/8/24</u>		
Signature of property owner or designated Agent (no agent without a letter of authority)	Date	Signature of applicant if different from property owner	Date

<u>Jason Law</u>	
Print Signer's name	Print Signer's name

<u>Andover</u>	<u>3/8/24</u>
Application Acknowledged by City: Name of City Official	City Date

SIGNATURE OF LRRWMO CHAIRMAN: **
 **NOTE: Subject to conditions as designated in the WCA Notice of Decision as recommended by the Technical Evaluation Panel and Barr Engineering (see attached)
 PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

PART ONE: Applicant Information

If applicant is an entity (company, government entity, partnership, etc.), an authorized contact person must be identified. If the applicant is using an agent (consultant, lawyer, or other third party) and has authorized them to act on their behalf, the agent's contact information must also be provided.

Applicant/Landowner Name: *City of Andover c/o Jason Law*
Mailing Address: *1685 Cross-town Blvd NW, Andover, MN 55304*
Phone: *763-767-5130*
E-mail Address: *J.Law@Andovermn.gov*

Authorized Contact (do not complete if same as above):

Mailing Address:
Phone: *SAME*
E-mail Address:

Agent Name:

Mailing Address:
Phone:
E-mail Address:

PART TWO: Site Location Information

County: *Anoka* City/Township: *Andover*
Parcel ID and/or Address: *30-32-24-42-0034*
Legal Description (Section, Township, Range): *530 T 32 R 24*
Lat/Long (decimal degrees): *45.233027, -93.373746*
Attach a map showing the location of the site in relation to local streets, roads, highways. (*Attached*)
Approximate size of site (acres) or if a linear project, length (feet):
80 SF

If you know that your proposal will require an individual Permit from the U.S. Army Corps of Engineers, you must provide the names and addresses of all property owners adjacent to the project site. This information may be provided by attaching a list to your application or by using block 25 of the Application for Department of the Army permit which can be obtained at:

http://www.mvp.usace.army.mil/Portals/57/docs/regulatory/RegulatoryDocs/engform_4345_2012oct.pdf

PART THREE: General Project/Site Information

If this application is related to a delineation approval, exemption determination, jurisdictional determination, or other correspondence submitted *prior to* this application then describe that here and provide the Corps of Engineers project number.

Delineation approved by LPRWMO - Permit # 23-17
Describe the project that is being proposed, the project purpose and need, and schedule for implementation and completion. The project description must fully describe the nature and scope of the proposed activity including a description of all project elements that effect aquatic resources (wetland, lake, tributary, etc.) and must also include plans and cross section or profile drawings showing the location, character, and dimensions of all proposed activities and aquatic resource impacts.

Street reconstruction and replacement of existing storm sewer. Matching location, size and elevation of replacement. Approx. 80 SF of wetland impacts with storm sewer work.

PART FOUR: Aquatic Resource Impact¹ Summary

If your proposed project involves a direct or indirect impact to an aquatic resource (wetland, lake, tributary, etc.) identify each impact in the table below. Include all anticipated impacts, including those expected to be temporary. Attach an overhead view map, aerial photo, and/or drawing showing all of the aquatic resources in the project area and the location(s) of the proposed impacts. Label each aquatic resource on the map with a reference number or letter and identify the impacts in the following table.

Aquatic Resource ID (as noted on overhead view)	Aquatic Resource Type (wetland, lake, tributary etc.)	Type of Impact (fill, excavate, drain, or remove vegetation)	Duration of Impact Permanent (P) or Temporary (T) ¹	Size of Impact ²	Overall Size of Aquatic Resource ³	Existing Plant Community Type(s) in Impact Area ⁴	County, Major Watershed #, and Bank Service Area # of Impact Area ⁵
Wetland 1	Wetland	Remove sediment & replace storm sewer	P (rip rap) T (pipe work)	80 SF	22 acres	Shallow Marsh	Ancker County WS# 20, BSA # 7
		Place rip rap					

¹If impacts are temporary; enter the duration of the impacts in days next to the "T". For example, a project with a temporary access fill that would be removed after 220 days would be entered "T (220)".

²Impacts less than 0.01 acre should be reported in square feet. Impacts 0.01 acre or greater should be reported as acres and rounded to the nearest 0.01 acre. Tributary Impacts must be reported in linear feet of impact and an area of impact by indicating first the linear feet of impact along the flowline of the stream followed by the area impact in parentheses). For example, a project that impacts 50 feet of a stream that is 6 feet wide would be reported as 50 ft (300 square feet).

³This is generally only applicable if you are applying for a de minimis exemption under MN Rules 8420.0420 Subp. 8, otherwise enter "N/A".

⁴Use *Wetland Plants and Plant Community Types of Minnesota and Wisconsin* 3rd Ed. as modified in MN Rules 8420.0405 Subp. 2.

⁵Refer to Major Watershed and Bank Service Area maps in MN Rules 8420.0522 Subp. 7.

If any of the above identified impacts have already occurred, identify which impacts they are and the circumstances associated with each:

PART FIVE: Applicant Signature

Check here if you are requesting a pre-application consultation with the Corps and LGU based on the information you have provided. Regulatory entities will not initiate a formal application review if this box is checked.

By signature below, I attest that the information in this application is complete and accurate. I further attest that I possess the authority to undertake the work described herein.

Signature:  Date: 3/8/24

I hereby authorize _____ to act on my behalf as my agent in the processing of this application and to furnish, upon request, supplemental information in support of this application.

¹ The term "Impact" as used in this joint application form is a generic term used for disclosure purposes to identify activities that may require approval from one or more regulatory agencies. For purposes of this form it is not meant to indicate whether or not those activities may require mitigation/replacement.

Attachment B

Supporting Information for Applications Involving Exemptions, No Loss Determinations, and Activities Not Requiring Mitigation

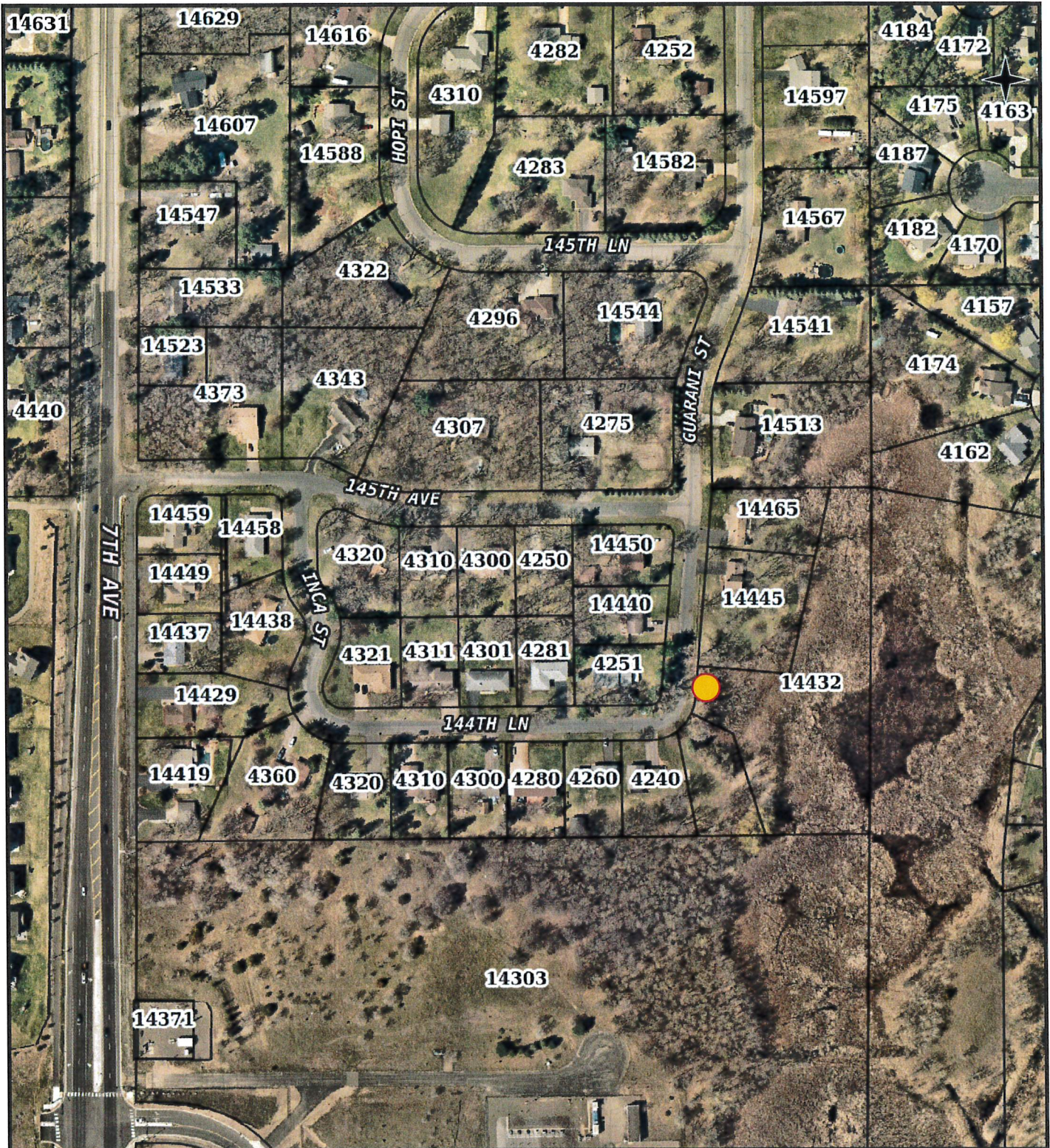
Complete this part *if* you maintain that the identified aquatic resource impacts in Part Four do not require wetland replacement/compensatory mitigation OR *if* you are seeking verification that the proposed water resource impacts are either exempt from replacement or are not under CWA/WCA jurisdiction.

Identify the specific exemption or no-loss provision for which you believe your project or site qualifies:

Exemption Under Minnesota Rules 8420.0420, Subp. B De Minimis. B 2d.

Provide a detailed explanation of how your project or site qualifies for the above. Be specific and provide and refer to attachments and exhibits that support your contention. Applicants should refer to rules (e.g. WCA rules), guidance documents (e.g. BWSR guidance, Corps guidance letters/public notices), and permit conditions (e.g. Corps General Permit conditions) to determine the necessary information to support the application. Applicants are strongly encouraged to contact the WCA LGU and Corps Project Manager prior to submitting an application if they are unsure of what type of information to provide:

Requesting de minimis exemption under 8420.0420 - B 2d. Impacts of 80 SF +/-, 100 SF allowed. For removal and replacement of existing storm sewer, sediment plume removal and rip rap placement. See attached storm water memo with attachments and exhibits.



Date Created: March 08, 2024

Disclaimer: The provider makes no representation or warranties with respect to the reuse of this data.



1685 CROSSTOWN BLVD., NW
ANDOVER, MN 55304

WELLS FARGO BANK, N.A.
COON RAPIDS, MN 55433
17-1-910

No.

68480

ONE HUNDRED FIFTY AND XX / 100

3/8/2024

\$150.00

LRRWMO
2015 First Avenue North
Anoka, MN 55303

⑈0068480⑈ ⑆091000019⑆010165100⑈

CITY OF ANDOVER

No.

68480

Check Date: 03/08/2024
Check Amount: 150.00

Vendor No: LRRWMO
Vendor Name: LRRWMO
Vendor Acct No:

Invoice Number	Date	Description	Amount
	03/07/2024	2024 Street Reconstruction	150.00



1685 CROSSTOWN BLVD., NW
ANDOVER, MN 55304

WELLS FARGO BANK, N.A.
COON RAPIDS, MN 55433
17-1-910

No.

68481

ONE THOUSAND AND XX / 100

3/8/2024

\$1,000.00

LRRWMO
2015 First Avenue North
Anoka, MN 55303

⑈006848⑈ ⑆09⑆0000⑆9⑆0⑆0⑆65⑆00⑈

CITY OF ANDOVER

No.

68481

Check Date: 03/08/2024
Check Amount: 1,000.00

Vendor No: LRRWMO
Vendor Name: LRRWMO
Vendor Acct No:

Invoice Number	Date	Description	Amount
	03/07/2024	2024 Street Reconstruction	1,000.00

Memorandum

To: Lower Rum River Watershed Management Organization (LRRWMO)
From: Matt Danzl, Barr Engineering Co. (Barr)
Subject: 2024 Street Reconstruction (South)~ Andover
Date: April 11, 2024
Barr Project: 23020047.00 RJB 2412
LRRWMO Permit: #2024-12

c: Stephanie Johnson, Barr Engineering Co.
Carla Wirth, TimeSaver, LRRWMO Recording Secretary

On March 8, 2024, Barr received a request for Minnesota Wetland Conservation Act (WCA) de minimis approval associated with the 2024 Street Reconstruction (South) project located in the City of Andover. Barr received confirmation, the fees were provided, and a permit number was assigned, making it a complete application.

The application contains the information needed to determine the project's wetland impacts are compliant with WCA rules. We recommend the LRRWMO approve the WCA de minimis exemption application as documented in the draft Notice of Decision.

Minnesota Wetland Conservation Act Notice of Decision

Local Government Unit (LGU): Lower Rum River Watershed Management Organization (LRRWMO)
County: Anoka
Applicant Name: City of Andover – Jason Law
Applicant Representative: N/A
Project Name: 2024 Street Recon (South)
LGU Project No. (if any): 2024-12
Date Application Received by LGU: 3/08/2024
Date of LGU Decision: 4/18/2024
Date this Notice was Sent:

Minnesota Wetland Conservation Act (WCA) Decision Type - check all that apply

<input type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input type="checkbox"/> No-Loss (8420.0415)	<input checked="" type="checkbox"/> Exemption (8420.0420)		
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H		Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input checked="" type="checkbox"/> 8 <input type="checkbox"/> 9	

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Wetland Impact Area: not applicable
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

Technical Evaluation Panel (TEP) Findings and Recommendations (attach if any)

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny
See TEP involvement and communication described in LGU Findings below.

LGU Decision

<input checked="" type="checkbox"/> Approved with Conditions (specify below) ¹ <input type="checkbox"/> Approved ¹ <input type="checkbox"/> Denied
List Conditions:
<p>STANDARD NO-LOSS AND EXEMPTION CONDITIONS.</p> <p>A person conducting an activity in a wetland under no-loss in part 8420.0415 or an exemption in part 8420.0420 must ensure that:</p> <p>A. appropriate erosion control measures are taken to prevent sedimentation of the wetland or of any receiving waters;</p> <p>B. the activity does not block fish activity in a watercourse, except when done purposely to prevent movement of undesirable fish species in accordance with a recommendation from the commissioner; and</p> <p>C. the activity is conducted in compliance with all other applicable federal, state, and local requirements, including best management practices according to the documents referenced in part 8420.0112, items L, M, and N, and water resource protection requirements established under Minnesota Statutes, chapter 103H.</p>
Decision-Maker for this Application: <input type="checkbox"/> Staff <input checked="" type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:

Decision is valid for: 5 years (default) Other (specify):

¹ *Wetland Replacement Plan approval is not valid until Minnesota Board of Water and Soil Resources (BWSR) confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision¹.

Attachment(s) (specify): **Site Location Figure (dated 3/8/2024), Exhibit 3 Wetland Impacts**

Summary:

The City of Andover submitted a joint application form requesting a de minimis exemption for the 2024 Street Reconstruction (South) Project.

A WCA Notice of Application was submitted to TEP members on 3/15/2024 with a comment period ending on 4/5/2024.

A wetland delineation report was approved under Permit # 23-17 for the project area. One type 3, Shallow marsh (0.15 ac.) wetland (Wetland 1) was located at the SE intersection of 144th Ln NW and Guarani St NW. The wetland is a DNR Public Water Wetland #02-610W. Wes Saunders-Pearce, Area Hydrologist, waived DNR jurisdiction to WCA on 3/11/24.

The project involves street reconstruction and replacement of existing storm sewer. The storm sewer replacement will impact approximately 80 SF of Wetland 1 at the outlet. The allowed de minimis for the wetland is 100 SF.

The de minimis is approved with the standard conditions listed above.

¹ *Findings must consider any TEP recommendations.*

Attached Project Documents

site location map Project Plan(s)/Descriptions/Reports (specify): wetland delineation map

Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator
Minnesota Board of Water & Soils Resources
520 Lafayette Road North
St. Paul, MN 55155
travis.germundson@state.mn.us

Does the LGU have a local appeal process applicable to this decision?

Yes¹ No

¹*If yes, all appeals must first be considered via the local appeals process.*

Local Appeals Submittal Requirements (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

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Notice Distribution (include name)

Required on all notices:

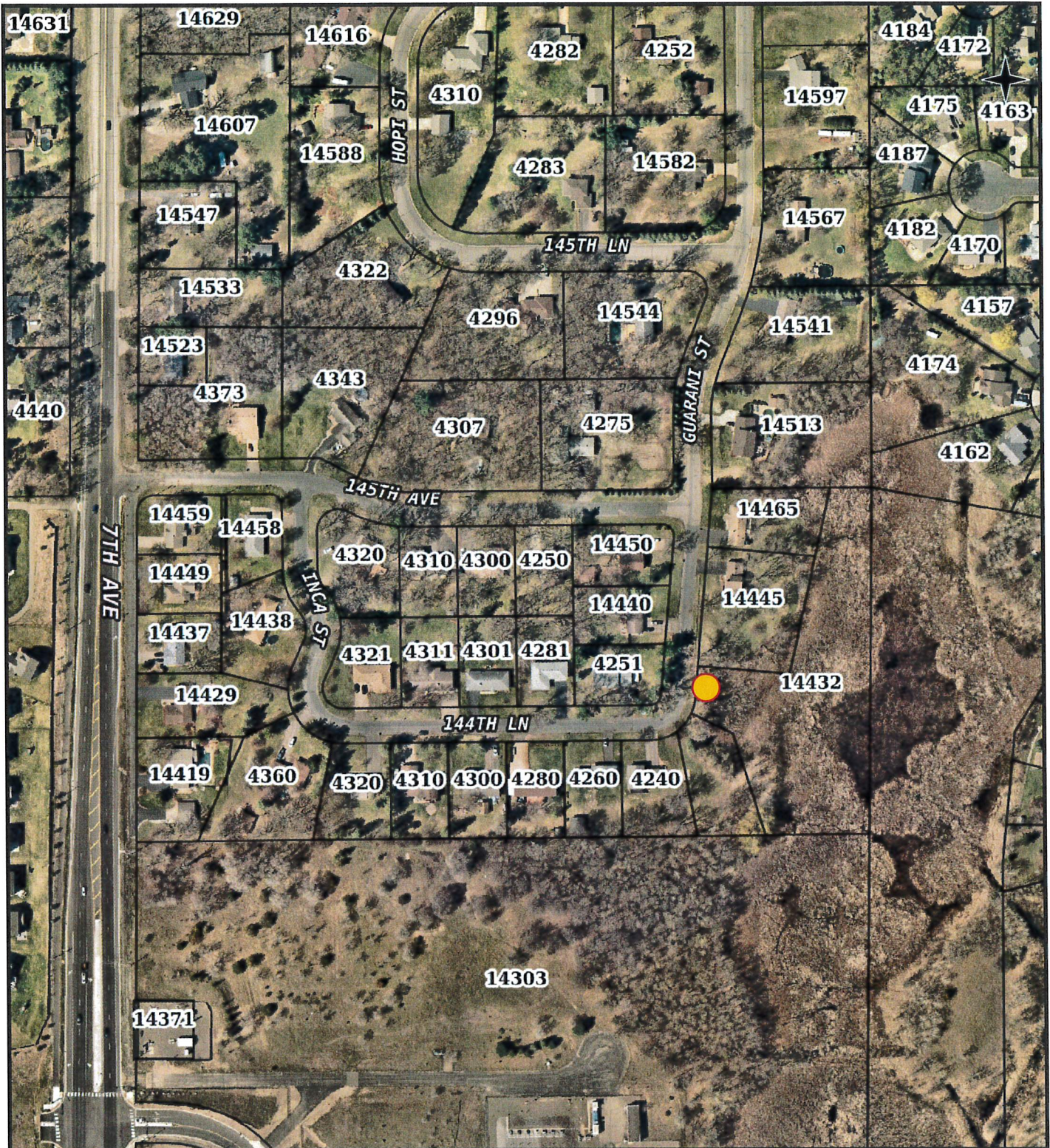
<input checked="" type="checkbox"/> SWCD TEP Member: Becky Wozney (Anoka Conservation District)
<input checked="" type="checkbox"/> Minnesota Board of Water and Soil Resources (BWSR) TEP Member: Ben Meyer
<input checked="" type="checkbox"/> LGU TEP Member: Matt Danzl (Barr Engineering for the LRRWMO)
<input checked="" type="checkbox"/> Minnesota Department of Natural Resources Representative: Melissa Collins
<input checked="" type="checkbox"/> Watershed District or Watershed Mgmt. Org.: Debra Musgrove (LRRWMO), Stephanie Johnson (Barr Engineering Co.)
<input checked="" type="checkbox"/> City Contact for LRRWMO permitting: Jason Law (City of Andover)
<input checked="" type="checkbox"/> Applicant (notice only): City of Andover
<input checked="" type="checkbox"/> Agent/Consultant (notice only):

Optional or As Applicable:

<input type="checkbox"/> Corps of Engineers:
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):
<input type="checkbox"/> Members of the Public (notice only):
<input type="checkbox"/> Other:

Signature:	Date:

This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.








Date Created: March 08, 2024

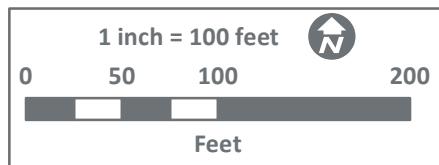
Disclaimer: The provider makes no representation or warranties with respect to the reuse of this data.



Legend

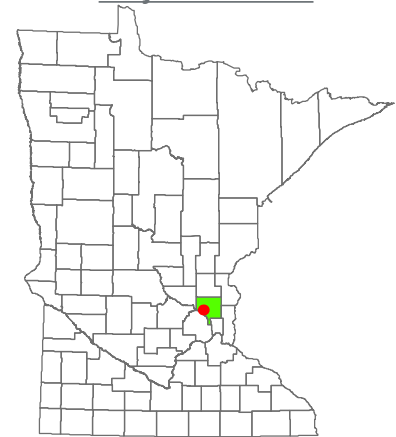
-  Environmental Clearance Boundary
-  Anoka Co. Parcels
-  Wetland Field Delineated
May 24th, 2023
-  Sample Point
-  Culvert

Address: 144th lane
 Andover, Minnesota
Lat/Long: 45.233078,-93.373834
PID: Multiple
Project No: 17085
Date: 5.25.2022



ANDERSON
 13605 1st Ave N #100, Plymouth, MN 55441
 P 763.412.4000 F 763.412.4090 ae-mn.com

Project Location



City of Andover
 Anoka County, MN

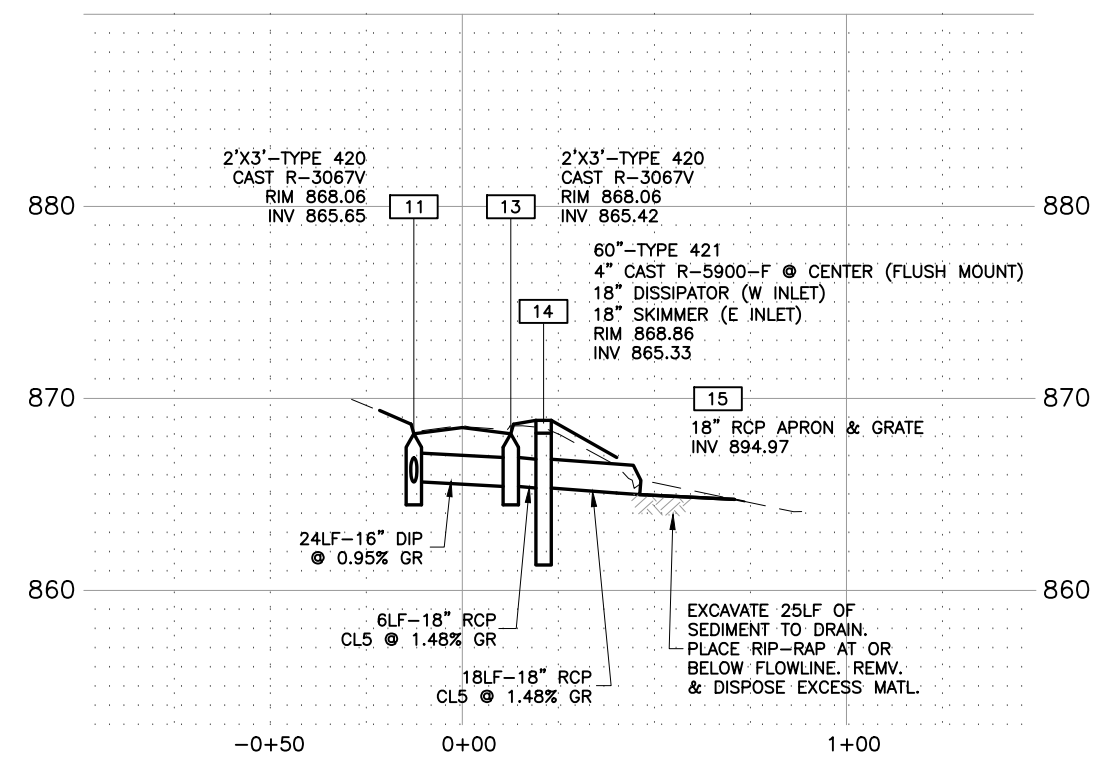
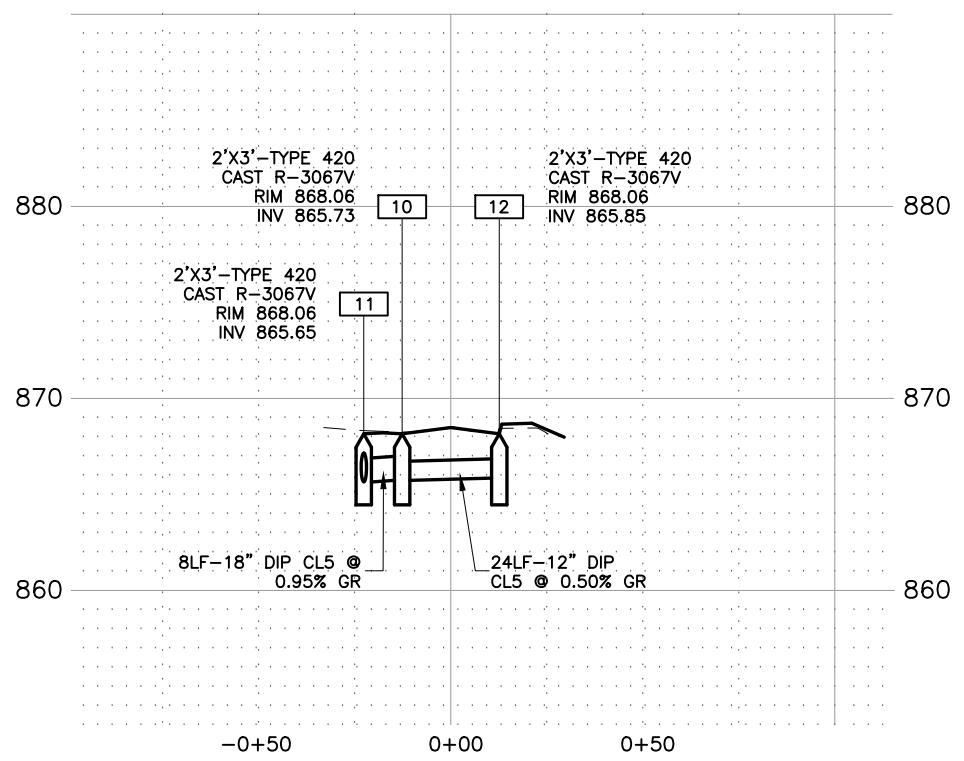
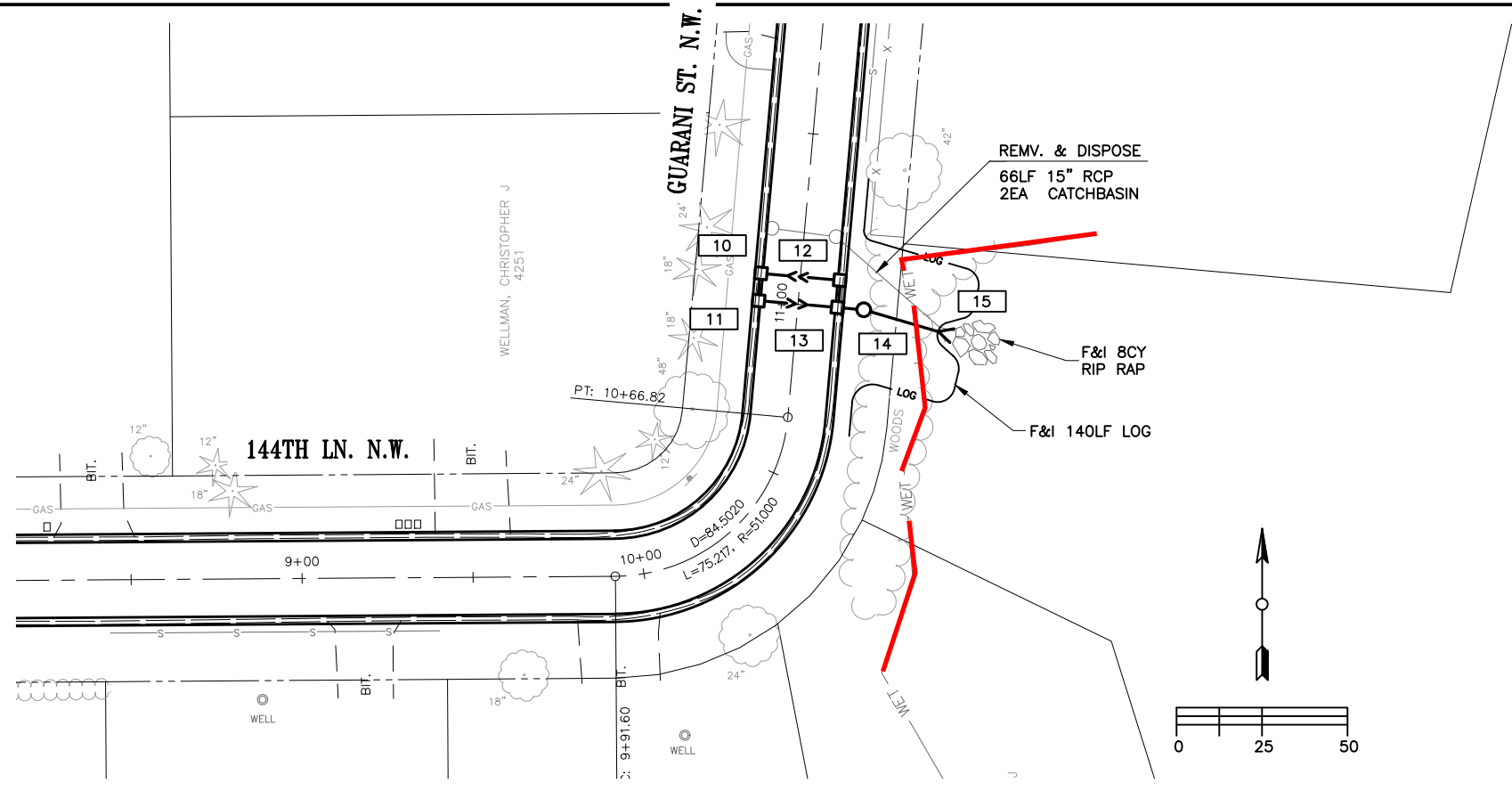


EXHIBIT 3

DESIGNED	JUL	NO.		DESCRIPTION OF REVISIONS
DRAWN	AAK	DATE		
CHECKED	DDB	BY		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

David D. Berkowitz
DAVID D. BERKOWITZ
DATE: FEBRUARY 6, 2024 REG. NO. 26757



2024 STREET RECONSTRUCTION ROAD
SOUTH PORTION
CITY PROJECT NO. 24-02

GRADING, STORMWATER MANAGEMENT AND EROSION/ SEDIMENT CONTROL PERMIT APPLICATION

A \$150.00 application fee and additional \$700.00 escrow deposit must accompany this permit application.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

The permit application and supporting documentation must be submitted to the LRRWMO by the THIRD THURSDAY OF THE MONTH TO BE ON THE FOLLOWING REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AGENDA. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: 2024 Street Recon (North Portion)
 Address/Location: East of 7th Ave, South of 152nd Ave, North of 147th Ave
 Project Description/Purpose: Street Recon, Culvert Replacement

<u>City of Andover</u>	<u>Jason Law</u>
Name of Applicant (Site Owner or Property Owner)	Applicant's Contact Organization Name
<u>1685 Crosstown Blvd NW</u>	
Address	Address <u>SAME</u>
<u>Andover, MN 55304</u>	
City, State, Zip	City, State, Zip
<u>763-767-5730 / 763-755-8923</u>	
Phone Fax	Phone Fax
<u>J. Law @ Andovermn.gov</u>	
Email	Email

Submittal Requirements

Completed Grading, Stormwater Management and Erosion/ Sediment Control permit applications are to be submitted as per LRRWMO attachments G1 (Permit Requirements) and G2 (Office Procedure) included with this application. Note that projects involving potential wetland impacts and/or involving a Wetland Replacement Plan require a separate permit application and are subject to additional requirements.

PROJECT SUBMITTALS (check all that apply):

- | | |
|-------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> | GRADING PLAN: Including existing and proposed contours and boundaries of all wetlands and surface waters. |
| <input checked="" type="checkbox"/> | STORM SEWER/ DRAINAGE PLAN: Including all permanent drainage features and all permanent water quality features. |
| <input type="checkbox"/> | STORM DRAINAGE CALCULATIONS: Design computations as required by the LRRWMO. |
| <input checked="" type="checkbox"/> | EROSION CONTROL PLAN: Including all temporary and permanent measures proposed to retain all sediment on site. |
| <input type="checkbox"/> | OTHER |

START OF PROJECT: 4/22/24

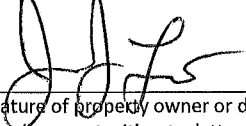
EST. COMPLETION DATE: 8/16/24

APPROVAL DATE: _____

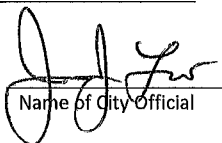
By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

 _____ Signature of property owner or designated Agent (no agent without a letter of authority)	<u>3/8/24</u> _____ Date	_____ Signature of applicant if different from property owner	_____ Date
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------	------------------------------------------------------------------	---------------

<u>Jason Law</u> _____ Print Signer's name	_____ Print Signer's name
--------------------------------------------------	------------------------------

Application Acknowledged by City:	 _____ Name of City Official	<u>Anoka</u> _____ City	<u>3/8/24</u> _____ Date
------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	-------------------------------	--------------------------------

SIGNATURE OF LRRWMO CHAIRMAN: ** _____

****NOTE: Subject to conditions recommended by Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

Memorandum

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Date: April 12, 2024
Subject: Permit #2024-13: 2024 Street Reconstruction (Northern Portion): Andover



We have received plans and a LRRWMO permit application for the northern portion of the City of Andover's Street Reconstruction project along 152nd Avenue, Fox Street, 151st Avenue, Guarani Street, 149th Avenue, 147th Lane, and Blackfoot Street, to the east of 7th Avenue, north of 147th Avenue, and south of 152nd Avenue. The work will involve the reconstruction of +/- 11,900 linear feet of roadway and associated site grading and utility replacement. The existing drainage patterns are to be maintained, and the project will only increase the total impervious area by 0.01 acres within the +/- 35-acre project corridor.

Because this is a road reconstruction project that will not increase impervious area by more than 1 acre or alter drainage patterns, the LRRWMO storm water requirements are not applicable for the project. The LRRWMO erosion and sediment control requirements do apply.

Sediment control logs are proposed at culvert outlets and existing drainage ditches where discharge leaves the site. Riprap will be installed at the downstream ends of proposed concrete drainage flumes and culvert outlets. The stormwater narrative indicates that disturbed areas are to be restored with erosion control blanket, topsoil, and seeding.

No construction entrances are being proposed because the pavement will be similar to hard-packed gravel and the City reports receiving complaints about the use of construction entrances on past street reconstruction projects. In lieu of construction entrances, the contractor will be required to conduct street sweeping on a daily basis. If daily sweeping is not sufficient to address the tracking of sediments, more frequent sweeping should be required. If more frequent sweeping proves ineffective, construction entrances should be required.

Compliance with requirements of the Wetland Conservation Act and comments from the Technical Evaluation Panel (TEP) for this project are being reviewed under LRRWMO Permit #2024-14.

It is our recommendation that the LRRWMO approve the erosion control permit for this project subject to the following conditions:

1. Erosion control measures must be installed prior to the commencement of construction.

To: Lower Rum River Watershed Management Organization
From: Stephanie Johnson and Heather Lau, Barr Engineering Co.
Subject: Permit #2024-13: 2024 Street Reconstruction (Northern Portion): Andover
Date: April 12, 2024
Page: 2

2. Upon completion of construction and restoration of disturbed areas, the permit applicant is responsible for the removal of all erosion control measures installed throughout the construction site.
3. Perimeter control must be installed along the perimeter the proposed street reconstruction upstream of the adjacent wetlands at the corner of 147th Lane N.W. and Blackfoot Street N.W. and along 149th Avenue N.W.
4. A note must be included in the Plans for restoration of disturbed pervious areas.
5. In lieu of construction entrances, street sweeping must be undertaken and completed on a daily basis, or more if needed. If tracking of sediment occurs, the contractor will be required to install construction entrances.
6. The project plan for the roadway reconstruction shows a 0.01-acre increase in the project impervious area. Should plans change, and improvements result in an increase in impervious area greater than 1.0 acres, a storm water management plan must be provided showing the LRRWMO storm water criteria are met.
7. In all cases where the doing by the permittee of anything authorized by this permit shall involve the taking, using, or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee; before proceeding; shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all necessary property rights and interest.

GRADING, STORMWATER MANAGEMENT AND EROSION/ SEDIMENT CONTROL PERMIT APPLICATION

A \$150.00 application fee and additional \$700.00 escrow deposit must accompany this permit application.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

The permit application and supporting documentation must be submitted to the LRRWMO by the THIRD THURSDAY OF THE MONTH TO BE ON THE FOLLOWING REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AGENDA. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

Project Name: <u>2024 Street Recon (North Portion)</u>	
Address/Location: <u>East of 7th Ave, South of 15th Ave, North of 147th Ave</u>	
Project Description/Purpose: <u>Street Recon, Culvert Replacement</u>	
<u>City of Andover</u>	<u>Jason Law</u>
Name of Applicant (Site Owner or Property Owner)	Applicant's Contact Organization Name
<u>1685 Crosstown Blvd NW</u>	Address <u>SAME</u>
Address	City, State, Zip
<u>Andover, MN 55304</u>	
City, State, Zip	Phone Fax
<u>763-767-5730 / 763-755-8923</u>	
Phone Fax	Phone Fax
<u>J. Law @ Andovermn.gov</u>	
Email	Email

Submittal Requirements

Completed Grading, Stormwater Management and Erosion/ Sediment Control permit applications are to be submitted as per LRRWMO attachments G1 (Permit Requirements) and G2 (Office Procedure) included with this application. Note that projects involving potential wetland impacts and/or involving a Wetland Replacement Plan require a separate permit application and are subject to additional requirements.

PROJECT SUBMITTALS (check all that apply):

<input checked="" type="checkbox"/>	GRADING PLAN: Including existing and proposed contours and boundaries of all wetlands and surface waters.
<input checked="" type="checkbox"/>	STORM SEWER/ DRAINAGE PLAN: Including all permanent drainage features and all permanent water quality features.
<input type="checkbox"/>	STORM DRAINAGE CALCULATIONS: Design computations as required by the LRRWMO.
<input checked="" type="checkbox"/>	EROSION CONTROL PLAN: Including all temporary and permanent measures proposed to retain all sediment on site.
<input type="checkbox"/>	OTHER

START OF PROJECT: 4/22/24

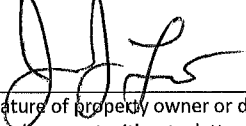
EST. COMPLETION DATE: 8/16/24

APPROVAL DATE: _____

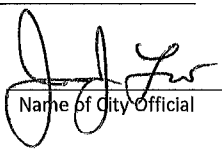
By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

 _____ Signature of property owner or designated Agent (no agent without a letter of authority)	<u>3/8/24</u> _____ Date	_____ Signature of applicant if different from property owner	_____ Date
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------	------------------------------------------------------------------	---------------

<u>Jason Law</u> _____ Print Signer's name	_____ Print Signer's name
--------------------------------------------------	------------------------------

Application Acknowledged by City:	 _____ Name of City Official	<u>Anokwa</u> _____ City	<u>3/8/24</u> _____ Date
------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	--------------------------------	--------------------------------

SIGNATURE OF LRRWMO CHAIRMAN: ** _____

****NOTE: Subject to conditions recommended by Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

Memorandum

To: Lower Rum River Watershed Management Organization (LRRWMO)
From: Matt Danzl, Barr Engineering Co. (Barr)
Subject: 2024 Street Reconstruction (North)~ Andover
Date: April 11, 2024
Barr Project: 23020047.00 RJB 2414
LRRWMO Permit: #2024-14

c: Stephanie Johnson, Barr Engineering Co.
Carla Wirth, TimeSaver, LRRWMO Recording Secretary

On March 8, 2024, Barr received a request for Minnesota Wetland Conservation Act (WCA) de minimis approval associated with the 2024 Street Reconstruction (North) project located in the City of Andover. Barr received confirmation, the fees were provided, and a permit number was assigned, making it a complete application.

The application contains the information needed to determine the project's wetland impacts are compliant with WCA rules. We recommend the LRRWMO approve the WCA de minimis exemption application as documented in the draft Notice of Decision.

Minnesota Wetland Conservation Act Notice of Decision

Local Government Unit (LGU): Lower Rum River Watershed Management Organization (LRRWMO)
County: Anoka
Applicant Name: City of Andover – Jason Law
Applicant Representative: N/A
Project Name: 2024 Street Recon (North)
LGU Project No. (if any): 2024-14
Date Application Received by LGU: 3/08/2024
Date of LGU Decision: 4/18/2024
Date this Notice was Sent:

Minnesota Wetland Conservation Act (WCA) Decision Type - check all that apply

<input type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input type="checkbox"/> No-Loss (8420.0415)	<input checked="" type="checkbox"/> Exemption (8420.0420)		
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H		Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input checked="" type="checkbox"/> 8 <input type="checkbox"/> 9	

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Wetland Impact Area: not applicable
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

Technical Evaluation Panel (TEP) Findings and Recommendations (attach if any)

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny
See TEP involvement and communication described in LGU Findings below.

LGU Decision

<input checked="" type="checkbox"/> Approved with Conditions (specify below) ¹ <input type="checkbox"/> Approved ¹ <input type="checkbox"/> Denied
List Conditions:
<p>STANDARD NO-LOSS AND EXEMPTION CONDITIONS.</p> <p>A person conducting an activity in a wetland under no-loss in part 8420.0415 or an exemption in part 8420.0420 must ensure that:</p> <p>A. appropriate erosion control measures are taken to prevent sedimentation of the wetland or of any receiving waters;</p> <p>B. the activity does not block fish activity in a watercourse, except when done purposely to prevent movement of undesirable fish species in accordance with a recommendation from the commissioner; and</p> <p>C. the activity is conducted in compliance with all other applicable federal, state, and local requirements, including best management practices according to the documents referenced in part 8420.0112, items L, M, and N, and water resource protection requirements established under Minnesota Statutes, chapter 103H.</p>
Decision-Maker for this Application: <input type="checkbox"/> Staff <input checked="" type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:

Decision is valid for: 5 years (default) Other (specify):

¹ *Wetland Replacement Plan approval is not valid until Minnesota Board of Water and Soil Resources (BWSR) confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision¹.

Attachment(s) (specify): **Site Location Figure (dated 3/8/2024), Exhibit 3 Wetland Impacts**

Summary:

The City of Andover submitted a joint application form requesting a de minimis exemption for the 2024 Street Reconstruction (North) Project.

A WCA Notice of Application was submitted to TEP members on 3/15/2024 with a comment period ending on 4/5/2024.

A wetland delineation report was approved under Permit # 23-17 for the project area. Two wetlands were delineated on the north and south side of 147th Ln NW. Wetland 5 a Type 1/3 seasonally flooded basin/shallow marsh (0.15 ac.) and Wetland 6 a Type 1/2 seasonally flooded basin/fresh (wet) meadow (0.23 ac.).

The project involves street reconstruction and replacement of existing storm sewer. The storm sewer replacement will impact approximately 70 SF of the type 1 portion of Wetland 5 at the apron. The impact is located within 1000 feet of a Public Water basin, within a 50-80 presettlement county, and the 11-county metro area. The allowed de minimis for the type 1 wetland is 400 SF.

The de minimis is approved with the standard conditions listed above.

¹ *Findings must consider any TEP recommendations.*

Attached Project Documents

site location map Project Plan(s)/Descriptions/Reports (specify): wetland delineation map

Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator
Minnesota Board of Water & Soils Resources
520 Lafayette Road North
St. Paul, MN 55155
travis.germundson@state.mn.us

Does the LGU have a local appeal process applicable to this decision?

Yes¹ No

¹If yes, all appeals must first be considered via the local appeals process.

Local Appeals Submittal Requirements (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

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Notice Distribution (include name)

Required on all notices:

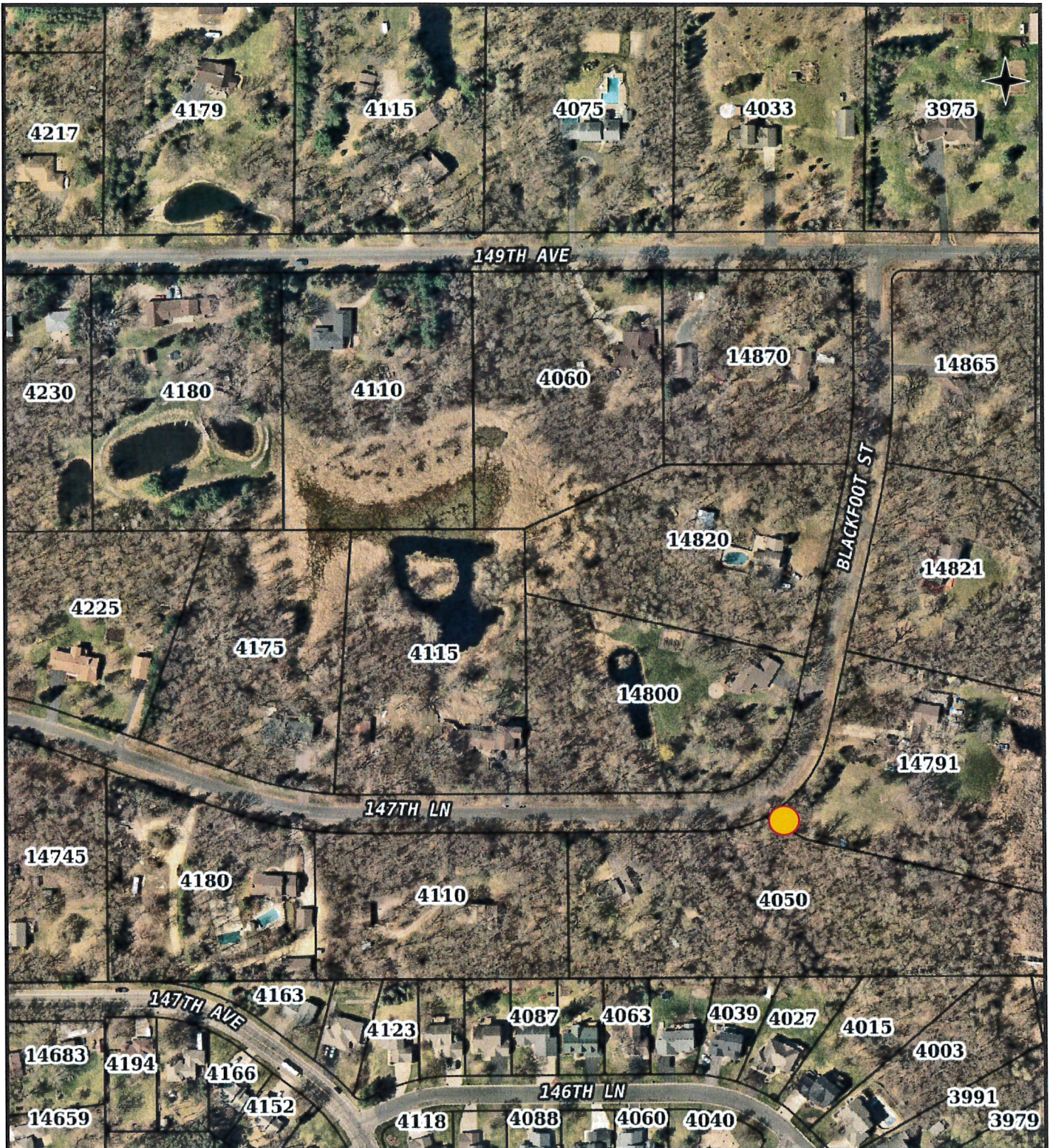
<input checked="" type="checkbox"/> SWCD TEP Member: Becky Wozney (Anoka Conservation District)
<input checked="" type="checkbox"/> Minnesota Board of Water and Soil Resources (BWSR) TEP Member: Ben Meyer
<input checked="" type="checkbox"/> LGU TEP Member: Matt Danzl (Barr Engineering for the LRRWMO)
<input checked="" type="checkbox"/> Minnesota Department of Natural Resources Representative: Melissa Collins
<input checked="" type="checkbox"/> Watershed District or Watershed Mgmt. Org.: Debra Musgrove (LRRWMO), Stephanie Johnson (Barr Engineering Co.)
<input checked="" type="checkbox"/> City Contact for LRRWMO permitting: Jason Law (City of Andover)
<input checked="" type="checkbox"/> Applicant (notice only): City of Andover
<input checked="" type="checkbox"/> Agent/Consultant (notice only):

Optional or As Applicable:

<input type="checkbox"/> Corps of Engineers:
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):
<input type="checkbox"/> Members of the Public (notice only):
<input type="checkbox"/> Other:

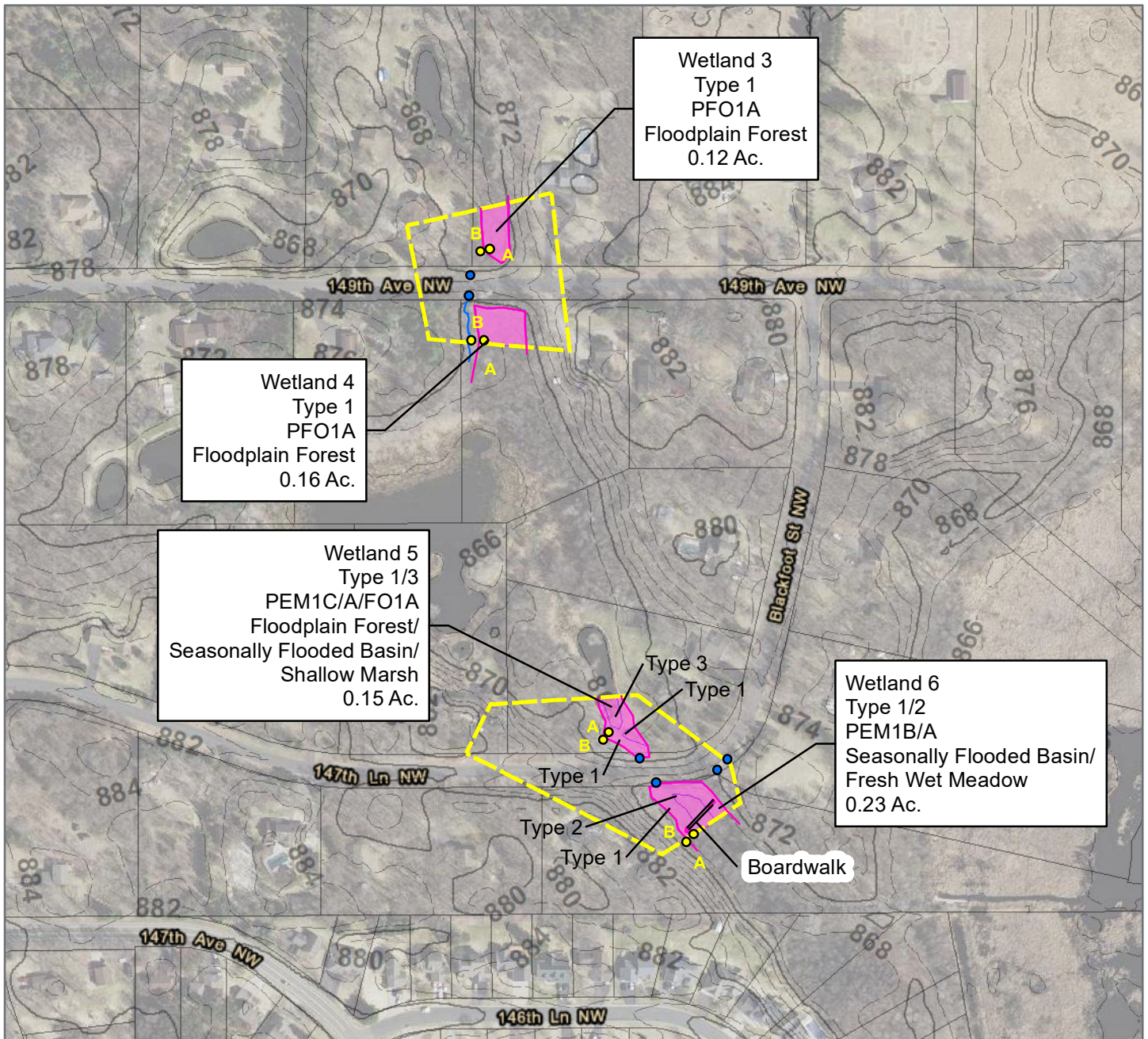
Signature:	Date:

This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.



Date Created: March 08, 2024

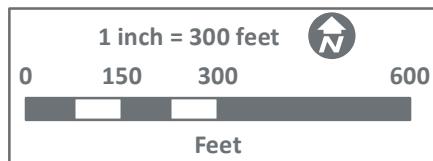
Disclaimer: The provider makes no representation or warranties with respect to the reuse of this data.



Legend

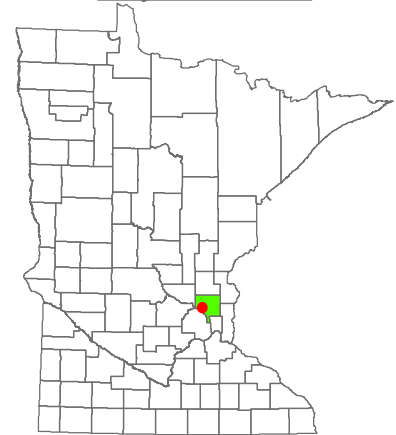
- Environmental Clearance Boundary
- Anoka Co. Parcels
- Wetland Field Delineated
- May 16th, 2023
- Rev. September 28th, 2023
- Sample Point
- Culvert
- Drainage Ditch

Address: 151st Ave NW
Andover, Minnesota
Lat/Long: 45.244147,-93.371258
PID: Multiple
Project No: 17085
Date: 9.29.2023



ANDERSON
13605 1st Ave N #100, Plymouth, MN 55441
P 763.412.4000 F 763.412.4090 ae-mn.com

Project Location



City of Andover
Anoka County, MN



1685 CROSSTOWN BOULEVARD N.W. • ANDOVER, MINNESOTA 55304 • (763) 755-5100
FAX (763) 755-8923 • WWW.ANDOVERMN.GOV

April 10, 2024

Lower Rum River Watershed Management Organization
2015 1st Avenue North
Anoka, MN 55303

Re: **1st Quarterly Project Development Report (January-March 2024)**

Dear Board Members:

The following projects have been inspected as required by the Lower Rum River Watershed Management Organization Permitting Procedure.

CSAH 9 Reconstruction (#23-19) – The project involves a recon, a trail and stormwater treatments on a stretch about a mile long. It straddles the Coon Creek Watershed District as well. Construction has begun.

CR 59 Turn Lanes (LRRWMO #23-20) – The project involves turn lanes along a large stretch. The wetland delineation has been approved.

Tulip Street Site (LRRWMO #22-20) – The wetland delineation has been approved.

2024 Street Reconstruction Project (LRRWMO #23-17) – This involves a full reconstruction project including a full depth reclaim, storm sewer improvements, curb replacement and a trail on the south side. Pre-con meeting was held on April 10th. Work is slated to begin later this month or early May.

Andover Crossing Multi-Family Apts. (LRRWMO #21-30) – Certificate of Occupancy was issued and escrow collected for outstanding improvements. Folks are moving into units.

Andover Crossing Commercial Sites (LRRWMO #21-31) – Taco Bell is now open.

Andover Crossing Senior Housing (LRRWMO #21-32) – Certificate of Occupancy issued and is in full operation. Developer has some outstanding items to complete yet. The City is holding escrow for these items.

Legacy of Petersen Farms (LRRWMO #22-09R) – Home construction well underway.

Pine Hills N Wetland Restoration (LRRWMO #22-02 and 22-03) – Planning for ongoing management is underway.

Meadows at Petersen Farms (Previously known as the Preserve at Petersen Farms 2nd Addition (LRRWMO #20-09)) -- Home construction is well underway. The City will continue to monitor the development for erosion control and upkeep.

If you have any questions, feel free to contact me at (763) 767-5137.

Sincerely,










Kameron Kytonen
Natural Resources Technician

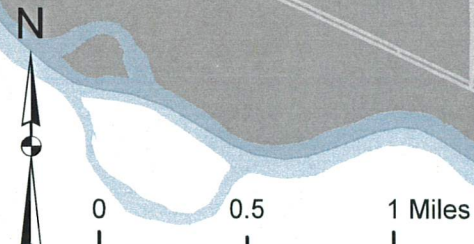
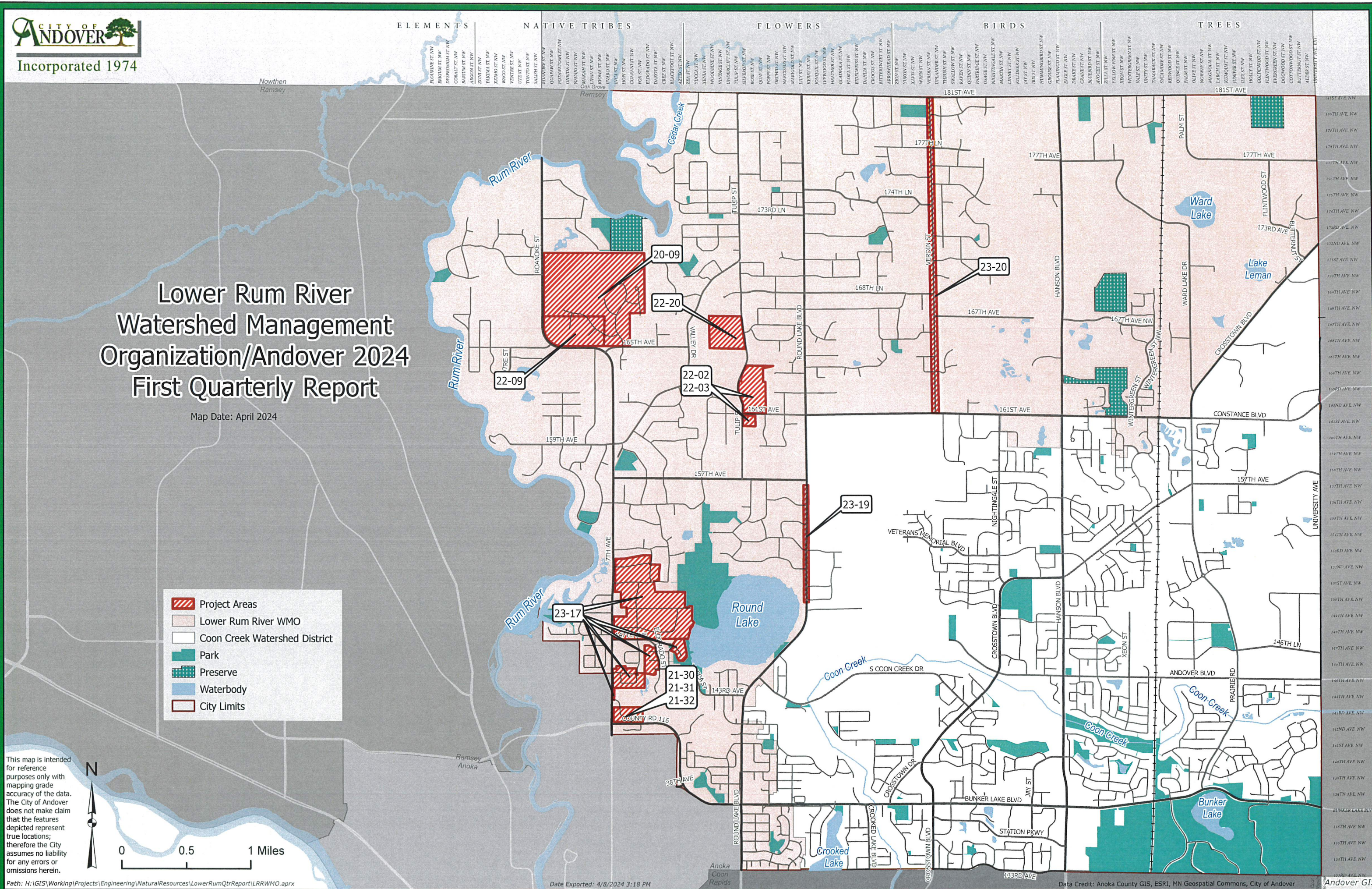
Attachment: Map of Andover

Lower Rum River Watershed Management Organization/Andover 2024 First Quarterly Report

Map Date: April 2024

-  Project Areas
-  Lower Rum River WMO
-  Coon Creek Watershed District
-  Park
-  Preserve
-  Waterbody
-  City Limits

This map is intended for reference purposes only with mapping grade accuracy of the data. The City of Andover does not make claim that the features depicted represent true locations; therefore the City assumes no liability for any errors or omissions herein.

ANOKA REAL. CLASSIC.

Public Services – Engineering

LOWER RUM RIVER WMO – 1st QUARTER 2024 REPORT

The following storm water related projects are active and have been inspected during the past quarter:

PROJECT NAME: Future Public Works Site Grading
PROJECT LOCATION: S 31, T 32, R 24
PROJECT DESCRIPTION: Temporary Stock Pile
PERMIT #2015-04
ENGINEER: City of Anoka
PROJECT COMPLIANT? Yes

WETLAND IMPACT: No
CONTRACTOR: City of Anoka
PROJECT STATUS: Site stabilized

PROJECT NAME: Eastview Meadows
PROJECT LOCATION: S 5, T 31, R 24
PROJECT DESCRIPTION: Residential Townhome Development
PERMIT #2017-06
ENGINEER: E.G. Rud & Sons, Inc.
PROJECT COMPLIANT? Yes

WETLAND IMPACT: No
CONTRACTOR: Shade Tree Companies
PROJECT STATUS: Awaiting Build-out

PROJECT NAME: Riverside of Anoka
PROJECT LOCATION: S 6, T 31, R 24 W
PROJECT DESCRIPTION: Residential Development
PERMIT #2020-02
ENGINEER: Alliant Engineering, Inc.
PROJECT COMPLIANT? Yes

WETLAND IMPACT: Yes
CONTRACTOR: Belair Sitework Services
PROJECT STATUS: Awaiting Build-out

PROJECT NAME: VOA Anoka Senior Living Facility Phase II
PROJECT LOCATION: S 6, T 31, R 24 W
PROJECT DESCRIPTION: Senior Apartment Building w/underground Parking Garage
PERMIT #2021-06
ENGINEER: Sambatek, Inc.
PROJECT COMPLIANT? Yes

WETLAND IMPACT: No
CONTRACTOR: Frana Companies
PROJECT STATUS: Contractor on-site

PROJECT NAME: Pinewski's 4th Addition
PROJECT LOCATION: S 36, T 32, R 25 W
PROJECT DESCRIPTION: Residential Development
PERMIT #2021-09
ENGINEER: Sathre-Bergquist, Inc.
PROJECT COMPLIANT? Yes

WETLAND IMPACT: No
CONTRACTOR: North Pine Aggregates
PROJECT STATUS: Awaiting Build-out



ANOKA REAL. CLASSIC.

Public Services – Engineering

LOWER RUM RIVER WMO – 1st QUARTER 2024 REPORT

PROJECT NAME: Grace Anoka Plant Expansion
PROJECT LOCATION: S 35, T 32, R 25 W
PROJECT DESCRIPTION: Expand plant operational capacity
PERMIT #2022-22A WETLAND IMPACT: No
ENGINEER: Larson Engineering CONTRACTOR: Mortenson
PROJECT COMPLIANT? Yes PROJECT STATUS: Awaiting spring green-up

PROJECT NAME: Franklin Elementary 2023 Addition & Remodel
PROJECT LOCATION: S 1, T 31, R 25 W
PROJECT DESCRIPTION: Two building additions, parking lot reconfiguration, and new playground
PERMIT #2023-05 WETLAND IMPACT: No
ENGINEER: Larson Engineering CONTRACTOR:
PROJECT COMPLIANT? Yes PROJECT STATUS: Contractor on-site

The following watershed permits are either inactive, pending or on hold during the past quarter:

PROJECT NAME: Anoka Infiltration Credits
PROJECT DESCRIPTION: Infiltration Credits for Volume Control/Retention
PERMIT #2018-22
PERMIT STATUS: On Hold (Permit Condition infiltrometer testing required)

PROJECT NAME: Rum River Woodbury House Riverbank Stabilization Project
PROJECT DESCRIPTION: Riverbank stabilization
PERMIT #2022-15
PERMIT STATUS: Watershed Permit Approved, awaiting for construction in November 2024

PROJECT NAME: Anoka Retail
PROJECT DESCRIPTION: Commercial Development
PERMIT #2022-23
PERMIT STATUS: Watershed Permit Approved

PROJECT NAME: West Rum River Trail – Phase I
PROJECT DESCRIPTION: New Trailway
PERMITS #2023-21 & #2023-21A
PERMIT STATUS: Watershed Permit Approved, awaiting spring construction





LOWER RUM RIVER WMO – 1st QUARTER 2024 REPORT

The following watershed permits require the board's consideration to be closed out/terminated with quarterly report:

PROJECT NAME: The Lock-up Anoka

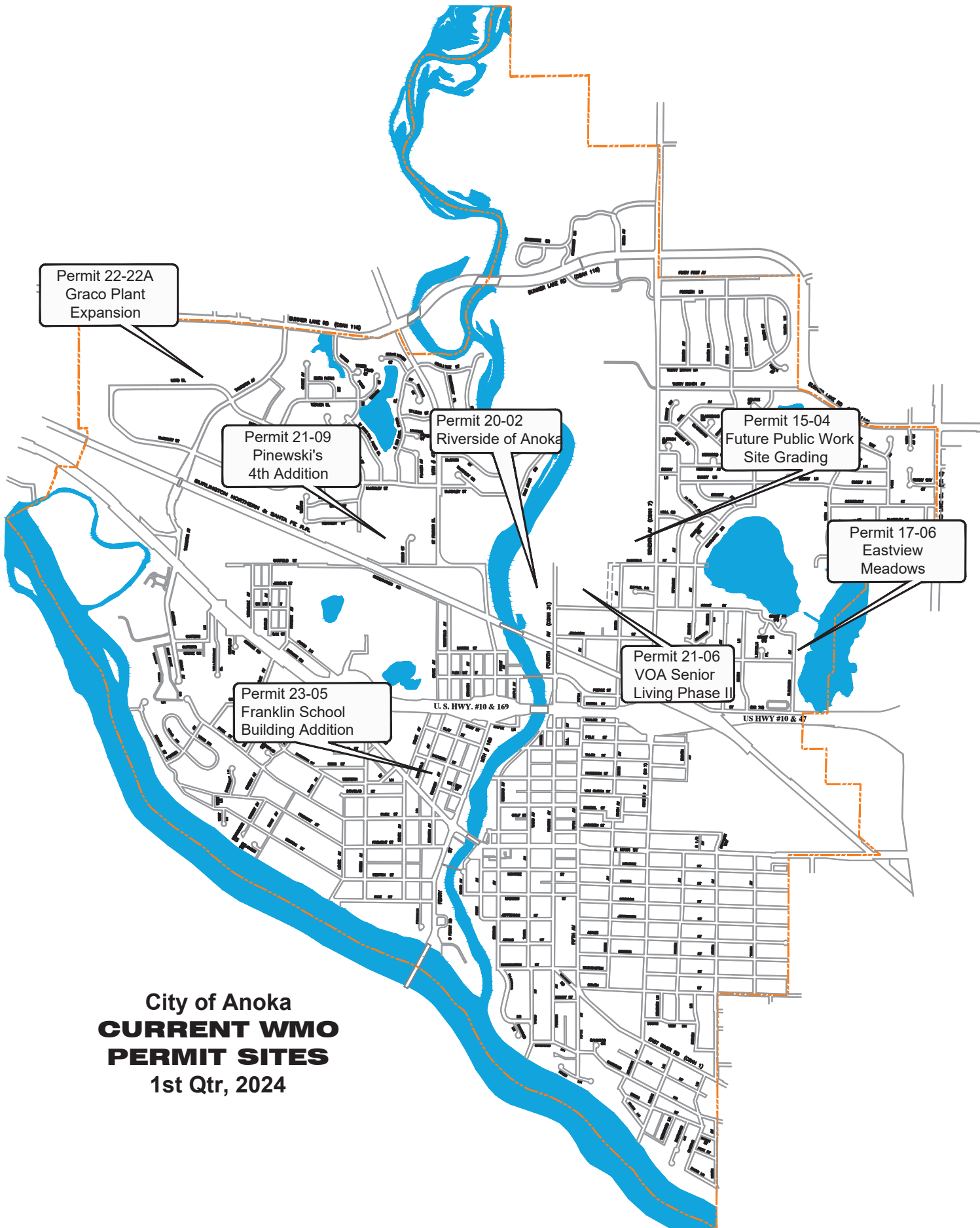
PROJECT DESCRIPTION: Commercial Building

PERMIT #18-25

REASONING: Project is completed in 2020 & Permit was never closed-out

Respectfully submitted by the City of Anoka Engineering Department, on the 11th day of April, 2024.





Permit 22-22A
Graco Plant
Expansion

Permit 21-09
Pinewski's
4th Addition

Permit 20-02
Riverside of Anoka

Permit 15-04
Future Public Work
Site Grading

Permit 17-06
Eastview
Meadows

Permit 21-06
VOA Senior
Living Phase II

Permit 23-05
Franklin School
Building Addition

City of Anoka
CURRENT WMO
PERMIT SITES
1st Qtr, 2024

ANOKA

REAL. CLASSIC.

Public Services – Engineering

April 10, 2024

Lower Rum River Water Management Organization
2015 First Avenue
Anoka, MN 55303

RE: Permit Termination Request

Project Name: The Lock-up Anoka
Project description: Commercial Building
LRRWMO Permit #2018-25

The above reference permit has been reviewed and found to be substantially completed. The City of Anoka, Engineering Department therefore recommends the return of any unexpended escrow funds in the amount of \$385.50 subject to the approval to the Deputy Treasurer to the applicant.

Respectfully Submitted,



Ben Nelson | Assistant City Engineer



ANOKA

REAL. CLASSIC.

Public Services – Engineering

April 10, 2024

Lower Rum River Water Management Organization
2015 First Avenue
Anoka, MN 55303

RE: Permit Termination Request

Project Name: The Lock-up Anoka
Project description: Commercial Building
LRRWMO Permit #2018-25

The above reference permit has been reviewed and found to be substantially completed. The City of Anoka, Engineering Department therefore recommends the return of any unexpended escrow funds in the amount of \$385.50 subject to the approval to the Deputy Treasurer to the applicant.

Respectfully Submitted,



Ben Nelson | Assistant City Engineer



CITY OF RAMSEY
LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

Summary of Listed Projects by Year

2024	9
2023	15
2022	11
2021	14
2020	3
2019	2
2018	0
2017	1
2015	1
Older	1
Total	48

24-10

Project Name: Harmony Farms
Description: New Single Family Subdivision
Location: East pf Nowthen Blvd at 167th Ave
Wetland Impact: N
Contractor: TBD
Engineer: Pioneer Engineering
Project Status: Start Spring 2024

24-09

Project Name: Waterfront Village Grading
Description: New Single Family Subdivision
Location: West of Zeolite St at Bunker Lake Blvd
Wetland Impact: N
Contractor: TBD
Engineer: James R Hill
Project Status: Start Spring 2024

24-08

Project Name: Waterfront Village Wetland
Description: New Single Family Subdivision
Location: West of Zeolite St at Bunker Lake Blvd
Wetland Impact: N
Contractor: TBD
Engineer: James R Hill
Project Status: Start Spring 2024

24-07

Project Name: Juniper Woods 1st, 2nd and 3rd
Description: Street Reconstruction
Location: 157th Lane East of Nowthen Blvd
Wetland Impact: N
Contractor: TBD
Engineer: City of Ramsey
Project Status: Start Spring 2024

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

24-06

Project Name: Alpine Drive Reconstruction
Description: Street Reconstruction
Location: Alpine Drive Kangaroo St to Armstrong Blvd
Wetland Impact: N
Contractor: TBD
Engineer: City of Ramsey
Project Status: Start Spring 2024

24-05

Project Name: Halls Dover Acres
Description: Street Reconstruction
Location: 157th Lane East of Nowthen Blvd
Wetland Impact: N
Contractor: TBD
Engineer: City of Ramsey
Project Status: Start Spring 2024

24-04

Project Name: Barthels Rum River Acres Streets
Description: Street Reconstruction
Location: 142nd 164th Lane East of St Francis
Wetland Impact: N
Contractor: TBD
Engineer: City of Ramsey
Project Status: Start Spring 2024

24-03

Project Name: Lightbridge Academy
Description: New Day Care Facility
Location: 142nd Ave and Xkimo St
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Start Spring 2024

24-02

Project Name: St Katherine Drexel Church
Description: New Church and Parking Lot
Location: Variolite Street and 161st Ave
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Start Spring 2024

24-01

Project Name: COR Infrastructure Improvements
Description: COR Utility and Roadway improvements
Location: Zeolite and Ramsey Parkway
Wetland Impact: N
Contractor: Douglas Kerr
Engineer: Bolton - Menk
Project Status: Start Spring 2024

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

23-23

Project Name: Ramsey Water Treatment Plant
Description: Water Treatment Plant Construction
Location: 142nd Limonite
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Start Fall 2023

23-22

Project Name: Ramsey Water Treatment Plant
Description: Water Treatment No Loss Determination
Location: 142nd Limonite
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Start Fall 2023

23-18

Project Name: Jam-Hops Gym
Description: Grading and Site Plan
Location: 142nd Limonite
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Start Fall 2023

23-16

Project Name: 167th Avenue Reconstruction
Description: Grading and Site Plan
Location: 167th Avenue at TH 47
Wetland Impact: N
Contractor: TBD
Engineer: Bolton & Menk
Project Status: Start Fall 2023

23-15

Project Name: Waltek
Description: Industrial Building Reconstruction
Location: 14310 Sunfish Lake Blvd
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Start Fall 2023

23-14

Project Name: Aldi
Description: Grading and Site Plan
Location: E of Armstrong, S of Sunwood Drive
Wetland Impact: N
Contractor: TBD
Engineer: ISG
Project Status: Start Fall 2023

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

23-13

Project Name: COR Regional Pond
Description: Grading pond and Site
Location: Zeolite St N of Sunwood Drive
Wetland Impact: N
Contractor: Eneback
Engineer: Bolton & Menk
Project Status: Under Construction

23-12

Project Name: COR Wetlands
Description: Wetland no loss determination
Location: Zeolite St N of Sunwood Drive
Wetland Impact: N
Contractor: TBD
Engineer: Bolton & Menk
Project Status:

23-11

Project Name: 167th Avenue Reconstruction
Description: Wetland Determination
Location: 167th Ave at St Francis Blvd
Wetland Impact: N
Contractor: TBD
Engineer: Bolton & Menk
Project Status:

23-10

Project Name: Bunker Lake Industrial Park 5
Description: New Industrial Building
Location: Puma and Bunker Lake Blvd
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Construction anticipated Fall 2023

23-09

Project Name: Home2Suites
Description: New Hotel
Location: NW Corner Zeolite & Sunwood Drive
Wetland Impact: N
Contractor: TBD
Engineer: Civil Site Design
Project Status: Construction anticipated Fall 2023

23-08

Project Name: Soderholm Associates Addition
Description: Commercial Addition
Location: 7150 143rd Ave
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson Associate
Project Status: Construction started Sept 2023

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

23-07

Project Name: Parkside Townhomes
Description: Residential Development
Location: Bounded by Traprock Street, 146th Ave,
Rhinestone Street and East Ramsey
Parkway
Wetland Impact: N
Contractor: TBD
Engineer: Civil Engineering Site Design
Project Status: Project With Drawn by owner May 2023

23-06

Project Name: HY-Ten Ramsey Improvement
Description: Street reconstruction
Location: Ferret Street and 147th Ave
Wetland Impact: N
Contractor: Douglas-Kerr
Engineer: Bolton & Menk, Inc.
Project Status: First Lift paved Sep 2023

23-04

Project Name: 161st Avenue Reconstruction
Description: Road Reconstruction
Location: 161st Avenue between Armstrong and
Wetland Impact: N
Contractor: Northern Lines Contracting
Engineer: City of Ramsey
Project Status: First Lift Paved Sep 2023

23-02

Project Name: Ramsey Water Treatment Plant
Description: Grading Plan
Location: 14199 Jasper Street
Wetland Impact: N
Contractor: Magney Construction
Engineer: SRF
Project Status: Construction Started August 2023

23-01

Project Name: Blue Line Collision
Description: Grading Plan
Location: 6710 Highway 10
Wetland Impact: N
Contractor: Kinghorn
Engineer: Hakanson Anderson
Project Status: Construction started June 2023

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

22-21

Project Name: COR Wetland Review and Mitigation
Description: Wetland Review and Mitigation
Location: COR between Ramsey Blvd and
Armstrong BLVD north of BNSF tracks
Wetland Impact: Y
Contractor: TBD
Engineer: Bolton - Menk
Project Status: Construction anticipated Fall 2023

22-16

Project Name: Lil Explorers Daycare
Description: Grading Plan
Location: Ramsey Blvd and Bunder Lake Blvd
Wetland Impact: N
Contractor: TBD
Engineer: SISU Land Surveying & Engineering
Project Status: Construction anticipated Fall 2023

22-14

Project Name: Trott Brook Crossing
Description: New Homes
Location: West of Nowthen Blvd, E of Variolite,
North of Trott Brook
Wetland Impact: Y
Contractor: TBD
Engineer: Carlson McCain
Project Status: First Lift Paving complete Sep 2023

22-13

Project Name: Summergate Development
Description: New Homes
Location: 167th Ave and Nowthen Blvd
Wetland Impact: Y
Contractor: TBD
Engineer: Westwood Engineers
Project Status: Construction anticipated Spring 2024

22-12

Project Name: PACT High School
Description: New Highschool
Location: 161st Ave and Variolite Street
Wetland Impact: N
Contractor: TBD
Engineer: Larson Engingeering
Project Status: School opened fall 2023

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

22-11

Project Name: Rivenwick 4th Addition
Description: New Townhomes
Location: 138th and Jasper Street
Wetland Impact: N
Contractor: TBD
Engineer: Carlson McCain
Project Status: First Lift Paving completed Aug 2023

22-08

Project Name: Pact High School
Description: New High School
Location: 161st Ave and Variolite Street

Wetland Impact: Y
Contractor: TBD
Engineer: Larson Engineering
Project Status: School open Fall 2023

22-07

Project Name: AKA 54 Tiger St Electric Line
Description: Underground Electric Line
Location: Tiger Street and Trott Brook

Wetland Impact: Y
Contractor: TBD
Engineer: Connexus Energy
Project Status: Construction anticipated Fall 2022

22-06

Project Name: Viking Mold Wetland
Description: Commercial Building Addition
Location: 143rd Ave and Limonite Street

Wetland Impact: Y
Contractor: TBD
Engineer: Hakanson Anderson\
Project Status: Construction anticipated Spring 2022

22-05

Project Name: Viking Mold Stormwater
Description: Commercial Building Addition
Location: 143rd Ave and Limonite Street

Wetland Impact: Y
Contractor: TBD
Engineer: Hakanson Anderson\
Project Status: Construction anticipated Spring 2022

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

22-04

Project Name: Riverdale Drive Trunk Utilities
Description: Municipal Street
Location: West of Llama Street, E of Bowers Drive

Wetland Impact: N
Contractor: TBD
Engineer: Bolton-Menk, Inc
Project Status: Construction completed Summer 2023

21-29

Project Name: Riverstone South
Description: Urban Subdivision
Location: South of Riverdale Drive, E of Bowers Drive

Wetland Impact: Y
Contractor: TBD
Engineer: Carlson McCain
Project Status: Third Phase paved Summer 2023

21-28

Project Name: CenterPoint Gasline Replacement
Description: Gas line replacement in ROW
Location: 173rd Ave E of Puma Street
Wetland Impact: No - De minimus determination
Contractor: TBD
Engineer: Environmental Resources Management
Project Status: Construction anticipated Spring 2022

21-25

Project Name: Green Valley Greenhouse
Description: Commercial Building
Location: 6530 Green Valley Road

Wetland Impact: Y
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Construction anticipated Spring 2022

21-22

Project Name: CSAH 83 Roundabout
Description: Traffic roundabout
Location: Armstrong Blvd and Alpine Drive

Wetland Impact: Y
Contractor: TBD
Engineer: Anoka County
Project Status: Construction Completed Fall 2023

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
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21-21

Project Name: County Road 64
Description: Rural Road reconstruction
Location: Northern boundary of Ramsey, 181st ave
Wetland Impact: Y
Contractor: TBD
Engineer: Anoka County
Project Status: Construction Completed Summer 2023

21-19

Project Name: Trott Brook North
Description: Urban Subdivision
Location: West of Nowthen Blvd, E of Variolite, North of Trott Brook
Wetland Impact: Y
Contractor: TBD
Engineer: Carlson McCain
Project Status: First phase -first lift installed

21-18

Project Name: 6841 173rd Ave
Description: Urban Subdivision
Location: West of Nowthen Blvd, E of Variolite, at 173rd Ave
Wetland Impact: Y
Contractor: TBD
Engineer: Landform
Project Status: Construction anticipated Summer 2024

21-16

Project Name: Lynnwood Townhomes
Description: Urban Townhomes
Location: Armstrong Blvd and 149th Lane
Wetland Impact: Y
Contractor: TBD
Engineer: Sathre Berquist
Project Status: First Phase completed, 2nd phase started

21-13

Project Name: Ramsey Spec Ind. Bldgs
Description: Industrial
Location: Bunker Lake Blvd east of Jackal St.
Wetland Impact: Y
Contractor: TBD
Engineer: Kimley Horn
Project Status: First 2 buildings complete, 3rd building started

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21-12

Project Name: Williams Woods
Description: Rural Subdiviision
Location: N of 175th Ave
Wetland Impact: Y
Contractor: TBD
Engineer: Landform
Project Status: Construction completed

21-11

Project Name: Rain for Rent Storage Addition
Description: Commercial Parking Lot expansion
Location: 156th Lane N of HWY 10
Wetland Impact: N
Contractor: TBD
Engineer: Loucks Associates
Project Status: Construction completed Fall 2021

21-10

Project Name: Bunker Lake Ind. Park Bldg 4
Description: New commercial building
Location: Bunker Lake Blvd and Jackal St
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Construction completed

21-07

Project Name: US 10 & 56
Description: TH10 Interchanges in Ramsey
Location: US 10 -Sunfish Lake B;vd, Ramsey Blvd
Wetland Impact: Y
Contractor: TBD
Engineer: Bolton & Menk
Project Status: Construction anticipated Spring 2024

21-02

Project Name: Northfork Meadows
Description: New Home Development
Location: Alpine Drive and Puma Street
Wetland Impact: N
Contractor: TBD
Engineer: ISG
Project Status: Construction completed

20-11

Project Name: Hampton Townhomes (FKA Odyssey Townhomes)
Description: New Townhouse Development
Location: Nowthen Blvd and 146th Ave
Wetland Impact: N
Contractor: TBD
Engineer: Hakanson Anderson
Project Status: Developer canceled project

LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
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20-10

Project Name: Ramsey Villas North
Description: New 3 unit Townhouse Development
Location: Xkimo Street at St Francis Blvd
Wetland Impact: N
Contractor: TBD
Engineer: Bogart Pederson
Project Status: Construction of 2 units complete, 1 unit to be built

20-08

Project Name: Preserve at North Fork
Description: New Residential Subdivision
Location: Alpine Drive and Alpine Ct N
Wetland Impact: N
Contractor: Nodland
Engineer: Sathre Berquist
Project Status: Construction complete

19-27

Project Name: Ramsey Villas
Description: New Townhouses
Location: 75XX 147th Lane NW
Wetland Impact: Y
Contractor: TBD
Engineer: Landform
Project Status: Construction underway

19-23

Project Name: Pearson Farm South
Description: New Multi-phase Single Family Subdivision
Location: South of TH 10, east of Bowers Drive
Wetland Impact: New Multi-phase Single Family Subdivision
Contractor: TBD
Engineer: Carlson McCain
Project Status: first 3 phases paved, application in to City for 4th phase

17-13

Project Name: Riverstone
Description: New 285 Lot Single Family Subdivision
Location: Bunker Lake Blvd and Zeolite Street
Wetland Impact: N
Contractor:
Engineer: Carlson McCain
Project Status: 4th phase and 5th phase under construction

15-19

Project Name: Northfork Alpine Addition
Description: 4 lot subdivision
Location: North side of Alpine Drive, 1/4 mile east of Andrie Street
Wetland Impact: N
Contractor: Michael Thompson
Engineer: Roschell Engineering
Project Status: Construction completed, monitoring vegetation establishment

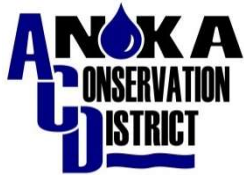
LOWER RUM RIVER WATER MANAGEMENT ORGANIZATION
REPORT PERIOD Jan 1, 2024 - Mar 31, 2024

03-07

Project Name: Ramsey Town Center AUAR
Description: AUAR
Location: Sec. 28, T 32 N, R 25 W
Wetland Impact: Yes
Contractor: Shingobee & Rehbein
Engineer: URS
Project Status: Wetland replacement underway; areas have been treated for removal of invasive species
Removals complete, and mitigation area planted in fall of 2011.
Wetland mitigation was accepted by TEP and Board

TRAVELERS BOND PAYMENT (RTC Wetlands - permit 03-07)

Reimbursement of URS design contract complete April 2011 (\$6,300)
Reimbursement of ANTEA GROUP oversight & WCA reporting contract this August 2011 (\$13,197)
Reimbursement of Sandstrom Land Management mitigation implementation contract August 2011 (\$18,170)



To: LRRWMO Board
 From: Becky Wozney
 Date: April 8, 2024
 Re: Work progress update

Below is a summary of progress on work the LRRWMO has contracted to the Anoka Conservation District in 2024.

Task	Accomplishments	% complete
ADMINISTRATIVE		
Annual Report to BWSR	Reported to BWSR by April 30, 2024.	75%
Watershed Coordinator	Meeting facilitation. JPA updates.	25%
Grant Applications	Rum metro WBIF convene process is underway with numerous projects on the list for the LRRWMO.	25%
MONITORING		
Lake Water Quality Monitoring Round Lake	<ul style="list-style-type: none"> 0 of 10 sampling events have occurred. Begins in May. 	0%
Lake Level Monitoring Itasca Lake Rogers Lake Round Lake Sunfish/Grass Lake	<ul style="list-style-type: none"> Gauges installed. Gauges to surveyed soon. Data to be collected weekly by volunteers and submitted monthly to the DNR's Lake Finder website. 	10%
Stream Water Quality Mntrg. Rum River at CR7 inc chloride sampling 4x	<ul style="list-style-type: none"> 0 of 8 sampling events completed. 	0%
Stream Biomonitoring Rum River	<ul style="list-style-type: none"> Biomonitoring with Anoka High School planned for May for October. 	0%
Reference Wetland Monitoring	<ul style="list-style-type: none"> Gauges installed and taking readings every four hours. 	20%
OUTREACH		
LRRWMO Website	Continuously updated.	25%
LRRWMO Newsletters	Articles submitted to cities: adopt a drain, smart salting, and wetland restoration grants. Two articles required, three done.	100%
Anoka Co Water Resource Outreach Collaborative	ACD hired part time remote outreach technician Aviva Meyerhoff. Upcoming tasks, per the LRRWOM outreach plan are promoting existing stewardship videos, LRRWMO river or projects tour, and recruiting landowners for project sites. Adopt a Drain promo and maintenance reminders to past project cooperators are possibilities.	2%

STUDIES		
Trott Brook Low Oxygen Study	Grant-funded with LRRWMO matching funds. Diagnostic monitoring completed in 2023. Modeling and reporting in 2024.	25%
WATER QUALITY IMPROVEMENT PROJECTS		
Streambank Stabilization Projects	Several projects in the works including behind Anoka High School & Woodbury House. LRRWMO funds are match for grants.	45%
Cost Share Grant Fund for Water Quality Improvement Projects	No projects have requested LRRWMO funds in 2024. Unused funds roll over to subsequent years.	NA

Lower Rum River Watershed Management Organization Task Checklist

WATER MONITORING AND IMPROVEMENT	2022						2023						2024						2025					
	ACD	Andover	Anoka	Ramsey	LRRWMO	Other	ACD	Andover	Anoka	Ramsey	LRRWMO	Other	ACD	Andover	Anoka	Ramsey	LRRWMO	Other	ACD	Andover	Anoka	Ramsey	LRRWMO	Other
Task																								
MN-1 Lake WQ Monitoring							100% complete (report left)						Monitoring has started for the season.											
“X” when completed	X				X		X				X													
MN-2 Lake Level Monitoring																								
“X” when completed	X				X		X				X													
MN-3 Rum River WQ Monitoring																								
“X” when completed	X				X		X				X													
MN-4 Stream Bio Monitoring -Macroinvertebrate monitoring on the Rum Rier facilitated by ACD and local schools.																								
“X” when completed	X				X							X												
MN-5 Wetland Monitoring -Wetland hydrology monitoring performed annually at 3 locations in the WMO																								
“X” when completed	X						X																	
PROJECTS/PROGAMS	2022						2023						2024						2025					
Our manager addressed the county board in regards to funding a groundwater specialist. There was good discussion but there are other high priority items as well. We are waiting for their final budget. It is likely a groundwater specialist will not happen next year.	ACD	Andover	Anoka	Ramsey	LRRWMO	Other	ACD	Andover	Anoka	Ramsey	LRRWMO	Other	ACD	Andover	Anoka	Ramsey	LRRWMO	Other	ACD	Andover	Anoka	Ramsey	LRRWMO	Other
PP-1 Cost-share grant small projects -fund grants for WQ improvement including shoreland restoration et al	X				X		X				X													
PP-2 Rum River Streambank Restoration -fund projects to reduce phosphorus/sediment loading to the Rum River.	X				X		X				X													
PP-3 Mississippi River Streambank Restoration -fund and implement projects to reduce phosphorus/sediment to Mississippi	X				X		X				X													
PP-4 Ramsey Central Park Stormwater (non-WBIF)	LRRWMO advised Ramsey plans																							
				X																				
PP-5 Support for Rum River 1W1P projects located upstream -provide written support											X													
PP-6 Subwatershed Analyses of City of Andover draining to Rum River -Conduct studies to assess pollutant	Funding secured. 2023 work																							
	X	X					X				X													
PP-7 Trott Brook Study (WBIF)							X				X	X												
PP-8 Install stormwater retrofits at priority sites identified by SWAs	X						X																	
PP-9 Wetland Restoration support for partners in priority areas	WBIF funding secured						ACD has reached out to landowners						Potential wetland restoration in LRR											
PP-10 Groundwater Planning and Technical Assistance					X							X												

LAST UPDATED: 4/10/2024



ANOKA CONSERVATION DISTRICT

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To: LRRWMO Board
From: Becky Wozney, Anoka Conservation District
Date: 4/12/2024
Re: JPA Legal Review

As of 4/12/2024, the deadline for our April packet, no new information has been obtained from the LRRWMO attorney. If additional information becomes available, I will bring it to the meeting on Thursday under M.1. JPA Updates.